



Agenda

Council Meeting | Thursday, June 20, 2024 | 9:00 AM | Council Chambers

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A. CALL TO ORDER

B. ADOPTION OF AGENDA

C. ADOPTION OF MINUTES

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1. **County Council Meeting Minutes**
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2. **Special County Council Meeting Minutes**
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D. SUBDIVISION APPLICATIONS

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1. **Subdivision Application #2024-0-074 – Hytech Production Ltd. - NW¼ 02-10-20-W4M**
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2. **Subdivision Application #2024-0-077 – Willms / SMRID - NE1/4 29-09-19-W4M**
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3. **Subdivision Application #2024-0-085 – Klassen - Block A, B, E, Plan 899AA within NE1/4 25-9-19-4W4M (Hamlet of Chin fringe)**
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4. **Subdivision Application #2024-0-058 – Edward Loman Farms Ltd. - SW1/4 35-11-21-W4M**
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- 64 - 79 E.1.2. **Bylaw 24-010 - Re-designate a portion of SE 3-9-20-W4 (3.3 acre area) from Urban Fringe to Direct Control-First Reading**
[Bylaw 24-010 - Resignation of a Portion of SE 3-9-20-W4 from Urban Fringe to Direct Control - First Reading.](#)
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- E.2. CORPORATE SERVICES**
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- E.3. ADMINISTRATION**
- 287 - 288 E.3.1. **ARMAA - 2024 Annual Conference Sponsorship**
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- F. DELEGATIONS**
- 289 - 297 1. **11:00 a.m. - Green Acres Foundation - Jeff Carlson & Dawna Coslovi**
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- G. CORRESPONDENCE**
- 298 1. **2024 Nobleford Heritage Day**
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- 306 - 307 5. **Town of Coalhurst - Miners Day Parade**
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- 308 - 309 6. **Brighter Together Food Journey Tour and Reception 2024**
[Brighter Together Food Journey Tour and Reception 2024](#)

H. COUNTY COUNCIL AND COMMITTEE UPDATES

- 310 - 313 1. **Lethbridge County Council Attendance Update - May 2024**
[Lethbridge County Council Attendance Update - May 2024](#)

I. NEW BUSINESS

J. CLOSED SESSION

1. **Chinook Intermunicipal Subdivision and Development Appeal Board - Appointments of Board Members (FOIP Section 19 - Confidential Evaluations)**
2. **Regional Emergency Management Partnership Agreement (FOIP Section 21 - Disclosure harmful to intergovernmental relations)**
3. **Mountain Meadows Slope Remediation (FOIP Section 23 - Local public body confidences)**

K. ADJOURN



Minutes

Council Meeting | Thursday, May 16, 2024 | 9:00 AM | Council Chambers

The Council Meeting of Lethbridge County was called to order on Thursday, May 16, 2024, at 9:00 a.m., in the Council Chambers, with the following members present:

PRESENT:

- Reeve Tory Campbell
- Deputy Reeve John Kuerbis
- Councillor Lorne Hickey
- Councillor Mark Sayers
- Councillor Eric Van Essen
- Councillor Klaas VanderVeen
- Councillor Morris Zeinstra
- Chief Administrative Officer Cole Beck
- Director, Development & Infrastructure Devon Thiele
- Director, Corporate Services Jennifer Place
- Executive Assistant Candice Robison
- Manager, Planning & Development Hilary Janzen
- Senior Planner Steve Harty
- Planning & Development Intern Hannah Laberge

A. CALL TO ORDER

Reeve Tory Campbell called the meeting to order at 9:01 a.m.

Reeve Campbell read the following land acknowledgement:

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

Reeve Campbell recognized Public Works week May 19-25.

Manager, Planning & Development Hilary Janzen introduced the Planning and Development Intern Hannah Laberge.

Deputy Reeve John Kuerbis provided thoughts for all those displaced due to the fire near Fort McMurray.

B. ADOPTION OF AGENDA

480-2024	Councillor Sayers	MOVED that the May 16, 2024 Lethbridge County Council Meeting Agenda be adopted as presented.	CARRIED
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C. ADOPTION OF MINUTES

C.1. County Council Meeting Minutes

481-2024	Deputy Reeve Kuerbis	MOVED that the May 2, 2024 Lethbridge County Council Minutes be adopted as presented.	CARRIED
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D. DELEGATIONS

D.1. 9:00 a.m. - RCMP - Sgt. Mike Numan

Sgt. Mike Numan & Sgt. Shawn Dutch was present to provide Council the quarterly RCMP update.

G. DEPARTMENT REPORTS

G.1. DEVELOPMENT & INFRASTRUCTURE

G.1.1. January-March 2024 Community Peace Officer Report

David Entz, Community Peace Officer presented the January-March 2024 Community Peace Officer Report to Council.

D. DELEGATIONS

D.2. 9:30 a.m. - United Irrigation District

The United Irrigation District was present to request a letter of support for the Belly River Reservoir Proposal.

482-2024 Councillor Van Essen MOVED to draft a letter of support for the UID Belly River Reservoir Project. CARRIED

Reeve Campbell recessed the meeting at 10:02 a.m.

Reeve Campbell reconvened the meeting at 10:12 a.m.

E. PUBLIC HEARINGS - 10:00 a.m.

E.1. Bylaw 24-002 - Chin Grouped Country Residential Area Structure Plan and Bylaw 24-003 Land Use Bylaw Amendment (Rural Urban Fringe to Grouped Country Residential and Business Light Industrial) - Public Hearing

Reeve Campbell called a recess to the Council Meeting, for the Public Hearing for Bylaw 24-002 & Bylaw 24-003 at 10:13 a.m.

483-2024 Deputy Reeve Kuerbis MOVED that the Public Hearing for Bylaw 24-002 & Bylaw 24-003 commence at 10:14 a.m. CARRIED

The Manager, Planning and Development reviewed Bylaw 24-002 & Bylaw 24-003.

Reeve Campbell asked if anyone wished to speak in favour or opposition of Bylaw 24-002 & Bylaw 24-003.

Douglas Bergen, Martin Geomatics - spoke in favor on behalf of the applicant.

Reeve Campbell asked if anyone wished to speak in favour or opposition of Bylaw 24-002 & Bylaw 24-003.

No comments were made.

484-2024 Councillor Hickey MOVED that the Public Hearing for Bylaw 24-002 & Bylaw 24-003 adjourn at 10:32 a.m. CARRIED

Reeve Campbell reconvened the Council Meeting at 10:32 a.m.

485-2024 Councillor Van Essen MOVED that Bylaw 24-002 be read a second time. CARRIED

486-2024 Councillor Sayers MOVED that Bylaw 24-002 be read a third time. CARRIED

487-2024 Deputy Reeve Kuerbis MOVED that Bylaw 24-003 be read for a second time. CARRIED

488-2024 Councillor VanderVeen MOVED that Bylaw 24-003 be read a third time. CARRIED

E.2. Bylaw 24-004 - Re-designate Plan 1611089 Blocks 1 Lot 1 and Plan 1611089 Block 2 Lot 1 from Rural Urban Fringe to Direct Control- Public Hearing

Reeve Campbell called a recess to the Council Meeting, for the Public Hearing for Bylaw 24-004 at 10:35 a.m.

489-2024 Councillor VanderVeen MOVED that the Public Hearing for Bylaw 24-004 commence at 10:35 a.m. CARRIED

The Manager, Planning and Development reviewed Bylaw 24-004.

Reeve Campbell asked if anyone wished to speak in favour or opposition of Bylaw 24-004.

Bob Bartlet, Trustee for Blood Tribe & Albert Tagoe, Chief Engineer spoke in favour on behalf of applicant.

Reeve Campbell asked if anyone wished to speak in favour or opposition of Bylaw 24-004.

Ardelle Mueller spoke in opposition.

Blake Kudurze spoke in opposition.

Cregg Nicol spoke in opposition.

Darlene Galicia spoke in opposition.

Harry Smith spoke in opposition.

Patricia O'Donnell spoke in opposition.

Monique Chapman spoke in opposition.

Eva Persald spoke in opposition.

Tony Persald spoke in opposition.

Moriah Lukas spoke in opposition.

Reeve Campbell asked if anyone wished to speak in favour or opposition of Bylaw 24-004.

No further comments were made.

490-2024 Councillor Sayers MOVED that the Public Hearing for Bylaw 24-004 adjourn at 11:24 a.m. CARRIED

Reeve Campbell reconvened the Council meeting at 11:25 a.m.

Councillor Lorne Hickey left the meeting at 11:41 a.m.

491-2024 Councillor Van Essen MOVED that Bylaw 24-004 be read a second time. DEFEATED

Reeve Campbell recessed the meeting at 11:48 a.m.

Reeve Campbell reconvened the meeting at 11:57 a.m.

F. SUBDIVISION APPLICATIONS

**F.1. Subdivision Application #2024-0-051 Brandsma/Bezooyen
- Lot 3, Block 1, Plan 0612375 and a portion of SW1/4 6-9-20-W4M**

492-2024 Deputy Reeve Kuerbis MOVED that the Country Residential & Agricultural subdivision of Lot 3, Block 1, Plan 0612375 and a portion of SW1/4 6-9-20-W4M all within SW1/4 6-9-20-W4M (Certificate of Title No. 061 327 810, 191 035 148), to accommodate a land swap and realign the property boundaries between two titles currently 4.55 and 69.50 acres (1.84 & 28.14 ha), by reconfiguring them to 5.28 and 68.83 acres (2.14 & 27.86 ha) in size for country residential and agricultural use; BE APPROVED subject to the following:

RESERVE: The 10% reserve requirement, pursuant to Sections 666 and 667 of the Municipal Government Act, be provided as money in place of land on the 0.73 acres at the market value of \$15,000 per acre with the actual acreage and amount to be paid to Lethbridge County be determined at the final stage, for Municipal Reserve purposes.

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to Lethbridge County.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with Lethbridge County which shall be registered concurrently with the final plan against the title(s) being created.
3. That the applicant submits a final plan of survey as prepared by an Alberta Land Surveyor that certifies the exact location and dimensions of the parcels being subdivided and consolidated.
4. The titles and portions of land to be subdivided and consolidated to reconfigure the boundaries (property line) of the two adjacent parcels to create the 5.28 and 68.83 acre titles, is to be done by a plan prepared by a certified Alberta Land Surveyor in a manner such that the resulting titles cannot be further subdivided without approval of the Subdivision Authority.
5. That the applicant removes or relocates the 394 sq. ft shed (36.5 m²) located on the north boundary so that there will be no resulting physical building encroachment over the newly adjusted property line. Confirmation of the removal of the shed must be submitted to the satisfaction of the Subdivision Authority prior to final endorsement of the subdivision.

CARRIED

Reeve Campbell recessed the meeting at 12:04 p.m.

Councillor John Kuerbis left the meeting at 1:00 p.m.

Reeve Campbell reconvened the meeting at 1:21 p.m.

Councillor Lorne Hickey returned to the meeting at 1:21 p.m.

G. DEPARTMENT REPORTS

G.2. CORPORATE SERVICES

G.2.1. 2024 Operating Budget Amendment

493-2024 Councillor Van Essen MOVED that County Council amend the 2024 Operating Budget to include a transfer to the Commercial/Industrial Land reserve in the amount of \$978,488 to be utilized for priority infrastructure and debt reduction requirements to be outlined for Council at a future meeting. CARRIED

G.2.2. Bylaw 24-011 Tax Mill Rate

494-2024 Councillor Van Essen MOVED that the 2024 Tax Mill Rate Bylaw 24-011 be read a first time. CARRIED

494-2024 Councillor Sayers MOVED that the 2024 Tax Mill Rate Bylaw 24-011 be read a second time. CARRIED

495-2024 Councillor Sayers MOVED that Council proceeds to consideration of third reading of Bylaw 24-011. DEFEATED

Reeve Campbell recessed the meeting at 1:50 p.m.

Councillor Lorne Hickey left the meeting at 1:55 p.m.

Reeve Campbell reconvened the meeting at 2:00 p.m.

G.2.5. Special Council Meeting

Reeve Tory Campbell called a Special Council meeting for Friday, May 17 at 2:00 p.m. for Bylaw 24-011.

G.2.3. Tax Payment Agreement - Lot 6, Block 1, Plan 971143

496-2024 Councillor Sayers MOVED that Council direct Administration to enter into the tax agreement, as prepared by North and Company Law Office for parcel Lot 6, Block 1, Plan 9711438. CARRIED

G.2.4. Financial Report ending April 30, 2024

Jennifer Place, Director, Corporate Services presented the Financial Report ending April 30, 2024 to Council.

H. COUNTY COUNCIL AND COMMITTEE UPDATES

H.1. Lethbridge County Council Attendance Update - April 2024

Council reviewed the highlights from the Lethbridge County Council Attendance Update for April 2024.

Division 1

Councillor Lorne Hickey

April 2	Health Professional Recruitment & Retention Committee
April 3	FCSS Board Meeting
April 4	Lethbridge County Council Meeting
April 6	Vimy Ridge Dinner
April 11	Health Professional Recruitment & Retention Committee
April 16	Media Training Workshop
April 17	Green Acres Finance Meeting
April 18	Lethbridge County Council Meeting
April 24	Green Acres Board Meeting
April 24	Audit Committee Meeting (via Teams)

Division 2**Reeve Tory Campbell**

April 4 Lethbridge County Council Meeting
April 4 Chinook Arch Board Meeting
April 5 Mayors and Reeves
April 16 Media Training Workshop
April 17 EDL Board Meeting
April 17 Malloy Drain Steering Committee Meeting
April 18 Lethbridge County Council Meeting
April 18 The Edge-Regionalism Discussion
April 25 Special County Council Meeting

Division 3**Councillor Mark Sayers**

April 4 Lethbridge County Council Meeting
April 16 Media Training Workshop
April 17 Malloy Drain Steering Committee
April 18 Lethbridge County Council Meeting
April 18 Telephone Town Hall on Drought
April 20 Readymade Community Indigenous Celebration
April 22 Regional Water Commission Meeting
April 25 Special County Council Meeting
April 25 SouthGrow Quarterly Board Meeting

Division 4**Deputy Reeve John Kuerbis**

April 2 Lethbridge County/Town of Nobleford IDP Meeting
April 2 Community Futures Weekly Meeting
April 4 Lethbridge County Council Meeting
April 9 Community Futures Weekly Meeting
April 16 Media Training Workshop
April 16 Community Futures Weekly Meeting
April 18 Lethbridge County Council Meeting
April 22 Agricultural Service Board Meeting
April 23 Community Futures HR Committee Meeting
April 24 Community Futures Monthly Meeting
April 24 Audit Committee Meeting
April 25 Special County Council Meeting
April 26 Meeting with Community Futures Executive Director
April 28-30 CPAA Conference

Division 5**Councillor Eric Van Essen**

April 2 Lethbridge County/Town of Nobleford IDP Meeting
April 3 Chamber Executive Meeting
April 4 Lethbridge County Council Meeting
April 16 Media Training Workshop
April 18 Lethbridge County Council Meeting
April 22 Agricultural Service Board Meeting
April 24 Audit Committee Meeting
April 25 Special County Council Meeting

Division 6**Councillor Klaas VanderVeen**

April 2 Meeting with KPMG for Waste Committee
April 4 Lethbridge County Council Meeting
April 16 Media Training Workshop
April 18 Lethbridge County Council Meeting
April 22 Agricultural Service Board Meeting

April 23	Regional Waste Committee Meeting
April 25	Special County Council Meeting
April 26	SAEWA Meeting
April 29&30	CPAA Conference

Division 7

Councillor Morris Zeinstra

April 4	Lethbridge County Council Meeting
April 16	Media Training Workshop
April 18	Lethbridge County Council Meeting
April 25	Special County Council Meeting
April 28-30	CPAA Conference

I. NEW BUSINESS

J. CLOSED SESSION

J.1. - CAO Report - C. Beck (FOIP Section 16, 17, 23 and 24)

497-2024 Councillor VanderVeen MOVED that the Lethbridge County Council Meeting move into Closed Session, pursuant to Section 197 of the Municipal Government Act, the time being 2:20 p.m. for the discussion on the following:

I.1. - CAO Report - C. Beck (FOIP Sections 16, 17, 23 and 24)

Present during the Closed Session:
 Lethbridge County Council
 Chief Administrative Officer
 Senior Management
 Administrative Staff
CARRIED

498-2024 Councillor Sayers MOVED that the Lethbridge County Council Meeting move out of the closed session at 3:10 p.m.

Reeve Campbell reconvened the regular meeting at 3:10 p.m.

K. ADJOURN

499-2024 Councillor Zeinstra MOVED that the Lethbridge County Council Meeting adjourn at 3:10 p.m.
CARRIED

 Reeve

 CAO



Minutes

Council Meeting | Friday, May 17, 2024 | 2:00 PM | Council Chambers

The Council Meeting of Lethbridge County was called to order on Friday, May 17, 2024, at 2:00 PM, in the Council Chambers, with the following members present:

PRESENT: Reeve Tory Campbell
Deputy Reeve John Kuerbis
Councillor Lorne Hickey
Councillor Mark Sayers
Councillor Eric Van Essen
Councillor Morris Zeinstra
Chief Administrative Officer Cole Beck
Executive Assistant Candice Robison
Assessor Les Whitfield

A. CALL TO ORDER

Reeve Campbell called the meeting to order at 2:00 p.m.

Reeve Campbell read the following land acknowledgement:

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

B. ADOPTION OF AGENDA

5-2024 Councillor Sayers MOVED that the May 17, 2024 Lethbridge County Special Council Meeting Agenda be adopted as presented.

CARRIED

C. DEPARTMENT REPORTS

C.1. CORPORATE SERVICES

C.1.1. Bylaw 24-011 Tax Mill Rate

6-2024 Deputy Reeve Kuerbis MOVED that the 2024 Tax Mill Rate Bylaw 24-011 be read a third time.

CARRIED

Ayes: Zeinstra, Campbell, Van Essen, Kuerbis, and Sayers

Nays: Hickey

D. ADJOURN

7-2024 MOVED that the Lethbridge County Council Meeting adjourn at 2:03 p.m.

CARRIED

Reeve

CAO

AGENDA ITEM REPORT



Title: Subdivision Application #2024-0-074 – Hytech Production Ltd.
- NW¼ 02-10-20-W4M

Meeting: Council Meeting - 20 Jun 2024




Department: ORRSC

Report Author: Steve Harty

APPROVAL(S):

Hilary Janzen, Manager, Planning & Development	Approved - 06 Jun 2024
Devon Thiele, Director, Development & Infrastructure	Approved - 10 Jun 2024
Cole Beck, Chief Administrative Officer	Approved - 11 Jun 2024

STRATEGIC ALIGNMENT:

 <input type="checkbox"/>	 <input type="checkbox"/>	 <input type="checkbox"/>	 <input checked="" type="checkbox"/>
Goverance	Relationships	Region	Prosperity

EXECUTIVE SUMMARY:

The application is to create a 11.67-acre first subdivision from a ¼-section title of 157.88 acres for rural agri-industrial use. The proposal does not meet the subdivision criteria of the Land Use Bylaw as it would require a lot size waiver.

RECOMMENDATION:

That S.D. Application #2024-0-074 be approved with a parcel size waiver being granted and subject to the conditions as outlined in the draft resolution.

REASON(S) FOR RECOMMENDATION(S):

With the waiver granted, the proposed subdivision meets the provincial Subdivision and Development Regulations, the MDP, and the municipal rural (non-residential) land use subdivision policies as stated in the Land Use Bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY:

- The rural (non-residential) land use subdivision policies are within Land Use Bylaw (LUB) No. 24-007 that allows subdivision of land for a rural agricultural related business.
- LUB No. 24-007 stipulates the maximum subdivision parcel size for isolated rural (non-residential) use is 10-acres, resulting in the need for a waiver to approve the 11.67-acres.
- The County’s MDP encourages these types of uses to locate adjacent to provincial highways and Alberta Transportation has no objections and has authorized that the Subdivision Authority may grant an approval.
- The proposal aligns with the County’s *Industrial-Commercial Land Use Strategy* which supports subdivision and development for rural agricultural related businesses.

BACKGROUND INFORMATION:

Located 3½-miles north of the Town of Coaldale and adjacent to the east side of Highway 845. The proposal is to subdivide a developed corner area of the ¼-section for an agri-business yard.

The purpose is to separate the agri-industrial business facilities from the remainder of the farm and agricultural land. The proposed subdivision contains the business yard for HyTech Production Inc. comprised of multiple buildings encapsulating a recent expansion. The NE property line is curved to account for the irrigation pivot system on the agricultural land. The 11.67-acre title will also include some grain bins and a dugout in the very SE corner, but no cultivated agricultural land. Water is provided by a private cistern haul method and sewage is managed by an individual holding /pump-out tank system. Access is provided from the west with an existing approach to Highway 845. There are no abandoned gas wells located in proximity and no provincially identified potential historical resources on or adjacent to the land.

As the first parcel subdivision from the ¼-section this application is eligible for subdivision. The proposed 11.67-acre size requires a waiver of the LUB maximum 10-acre parcel size. With consideration for a waiver, the agri-industrial proposal otherwise meets the criteria of LUB No. 24-007. This request has merit as the size is to capture the physical improvements on the land and no cultivated agricultural land is being included.

The application was circulated to the required external agencies with no concerns expressed. Alberta Transportation & Economic Corridors has no objections and granted an approval.

ALTERNATIVES / PROS / CONS:

The Subdivision Authority could decide to not approve the size waiver if it is not satisfied the subdivision is suitable.

Pros:

- There are no advantages to denying the waiver as the subdivision encapsulates existing business improvements and no agricultural land is included.

Cons:

- A refusal would likely be appealed by the applicants to the LPRT as the subdivision appears reasonable for the agri-business use.

FINANCIAL IMPACT:

Non direct, but the County may benefit from future additional taxes with further business expansion.

LEVEL OF PUBLIC PARTICIPATION:

- Inform
 Consult
 Involve
 Collaborate
 Empower

ATTACHMENTS:

- [5A Lethbridge County 2024-0-074 Approval](#)
- [Diagrams 2024-0-074](#)
- [Hytech - Parcel photos](#)

RESOLUTION

2024-0-074

Lethbridge County **Agri-industrial/agricultural** subdivision of NW1/4 2-10-20-W4M

THAT the Agri-industrial subdivision of NW1/4 2-10-20-W4M (Certificate of Title No. 081 096 064), to subdivide a 11.67-acre (4.72 ha) first subdivision from a ¼-section title of 157.88 acres (63.89 ha) for rural agri-industrial use; BE APPROVED subject to the following:

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to Lethbridge County.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with Lethbridge County which shall be registered concurrently with the final plan against the title(s) being created.
3. That the applicant provides a final Plan of Surveyor to illustrate the exact dimensions and parcel size of the proposed parcel as approved.
4. That any easement(s) as required by utility companies, or the municipality shall be established, if deemed necessary.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw with a variance granted.
2. The Subdivision Authority is satisfied that the proposed subdivision is suitable for the purpose for which the subdivision is intended pursuant to Section 9 of the Matters Related to Subdivision and Development Regulation.
3. The Subdivision Authority has determined this is the first subdivision from the ¼-section and is suitable for the purpose of creating a title for an established rural agri-business use.
4. No objections have been received regarding the subdivision and with consideration for a size waiver based on the use of the land and improvements present, this proposal otherwise meets the criteria of the County's Land Use Bylaw.

INFORMATIVE:

- (a) Since the proposed subdivision complies with Section 663(a) of the Municipal Government Act, Reserve is not required.
- (b) The Subdivision Authority has granted a waiver of the 10-acre maximum rural (non-residential) parcel size in accordance with section 654(2) of the MGA.
- (c) That a legal description for the proposed parcel be approved by the Surveys Branch, Land Titles Office, Calgary.
- (d) The applicant/owner is advised that other municipal, provincial or federal government or agency approvals may be required as they relate to the subdivision and the applicant/owner is responsible for verifying and obtaining any other approval, permit, authorization, consent or license that may be required to subdivide, develop and/or service the affected land (this may include but is not limited to Alberta Environment and Protected Areas, Alberta Transportation, and the Department of Fisheries and Oceans.)

2024-0-074
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- (e) Thank you for including TELUS in your circulation.

At this time, TELUS has no concerns with the proposed activities.

- (f) Alberta Health Services has no comments.

- (g) ATCO Transmission high pressure pipelines has no objections. Questions or concerns related to ATCO high pressure pipelines can be forwarded to hp.circulations@atco.com.

- (h) Thank you for contacting FortisAlberta regarding the above application for subdivision. We have reviewed the plan and determined that no easement is required by FortisAlberta.

FortisAlberta is the Distribution Wire Service Provider for this area. The developer can arrange installation of electrical services for this subdivision through FortisAlberta. Please have the developer contact 310-WIRE (310-9473) to make application for electrical services.

Please contact FortisAlberta land services at landserv@fortisalberta.com or by calling (403) 514-4783 for any questions.

- (i) Alberta Transportation – Leah Olsen, Development/Planning Technologist:

“This will acknowledge receipt of your circulation regarding the above noted proposal. The subdivision application would be subject to the requirements of Sections 18 and 19 of the Matters Related to Subdivision and Development Regulation (The Regulation), due to the proximity of Highway(s) 845

Transportation and Economic Corridors offers the following comments with respect to this application:

The requirements of Section 18 of the Regulation are not met. Based on review of the proposal, the department is satisfied that the Highway has sufficient capacity to accommodate the proposal. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 18 of the Regulation.

The requirements of Section 19 of the Regulation are not met. Moreover, existing development on the mature agri-industrial parcel would at this juncture make any meaningful paralleling service road alignment impractical and/or redundant. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 19 of the Regulation.

Further, should the approval authority receive any appeals in regard to this application and as per Section 678(2.1) of the Municipal Government Act and Section 7(6)(d) of the regulation, Transportation and Economic Corridors agrees to waive the referral distance for this particular subdivision application. As far as Transportation and Economic Corridors is concerned, an appeal of this subdivision application may be heard by the local Subdivision and Development Appeal Board provided that no other provincial agency is involved in the application

Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:

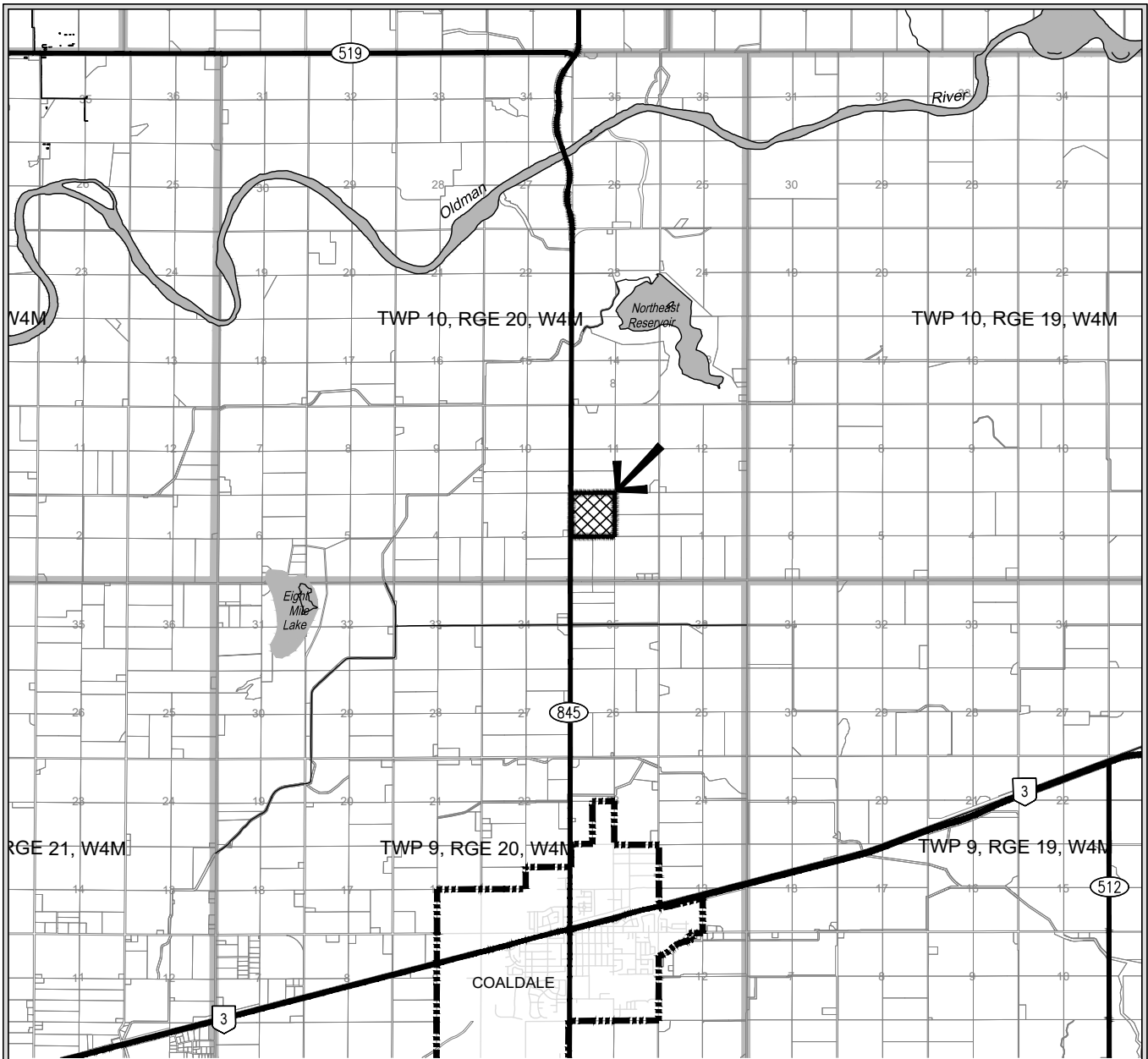
1. The department expects that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 618.4 of the Municipal Government Act

Please contact Transportation and Economic Corridors through the RPATH Portal if you have any questions, or require additional information.”

MOVER

REEVE

DATE

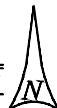


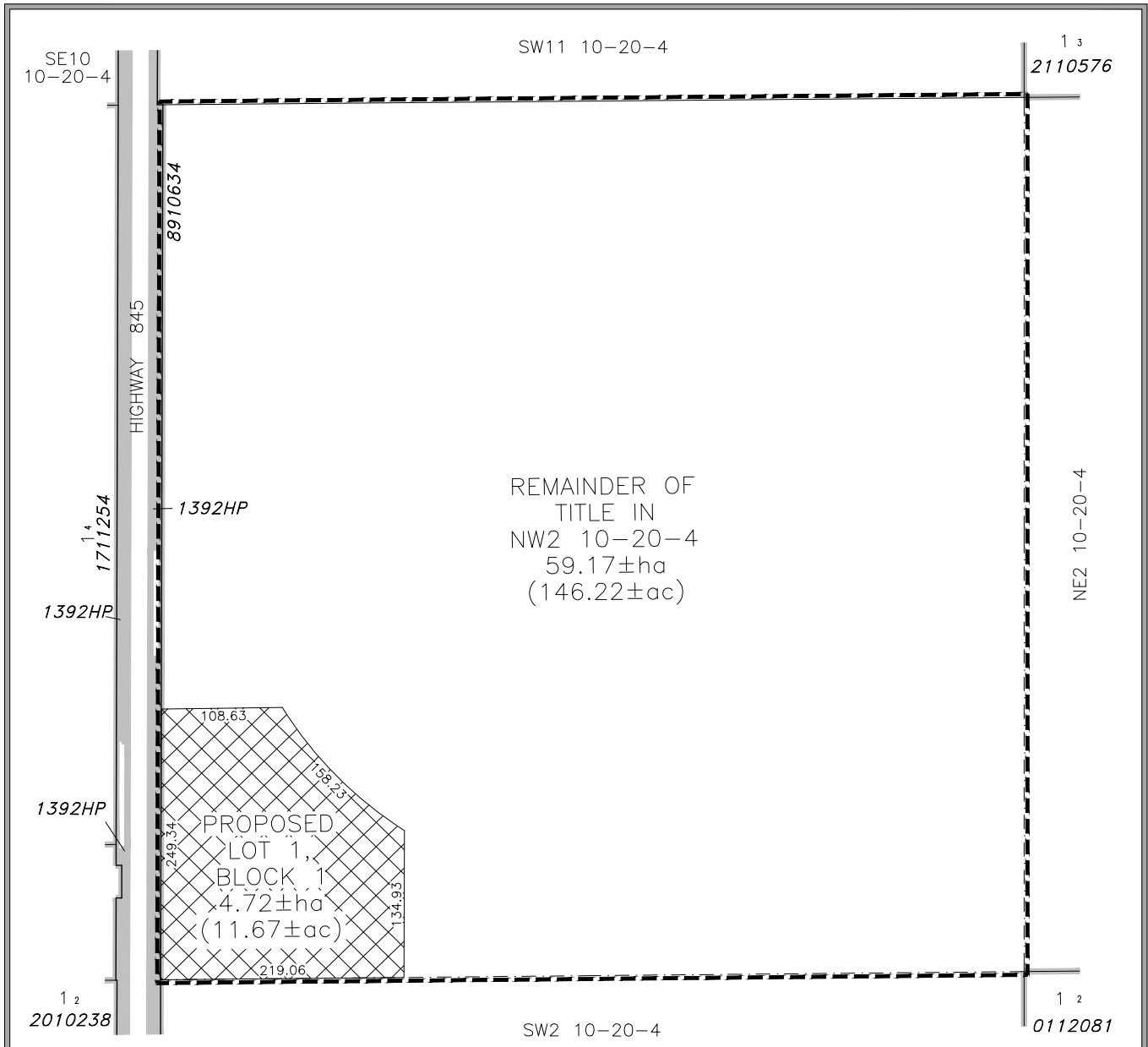
SUBDIVISION LOCATION SKETCH
NW 1/4 SEC 2, TWP 10, RGE 20, W 4 M
MUNICIPALITY: LETHBRIDGE COUNTY
DATE: MAY 6, 2024
FILE No: 2024-0-074

MAP PREPARED BY:
 OLDMAN RIVER REGIONAL SERVICES COMMISSION
 3102 16th AVENUE NORTH, LETHBRIDGE, AB T1H 3E5
 NOT RESPONSIBLE FOR ERRORS OR OMISSIONS



May 06, 2024 N:\Subdivision\2024\2024-0-074.dwg





SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16353

NW 1/4 SEC 2, TWP 10, RGE 20, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

DATE: MAY 6, 2024

FILE No: 2024-0-074



May 06, 2024 N:\Subdivision\2024\2024-0-074.dwg





SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16353

NW 1/4 SEC 2, TWP 10, RGE 20, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

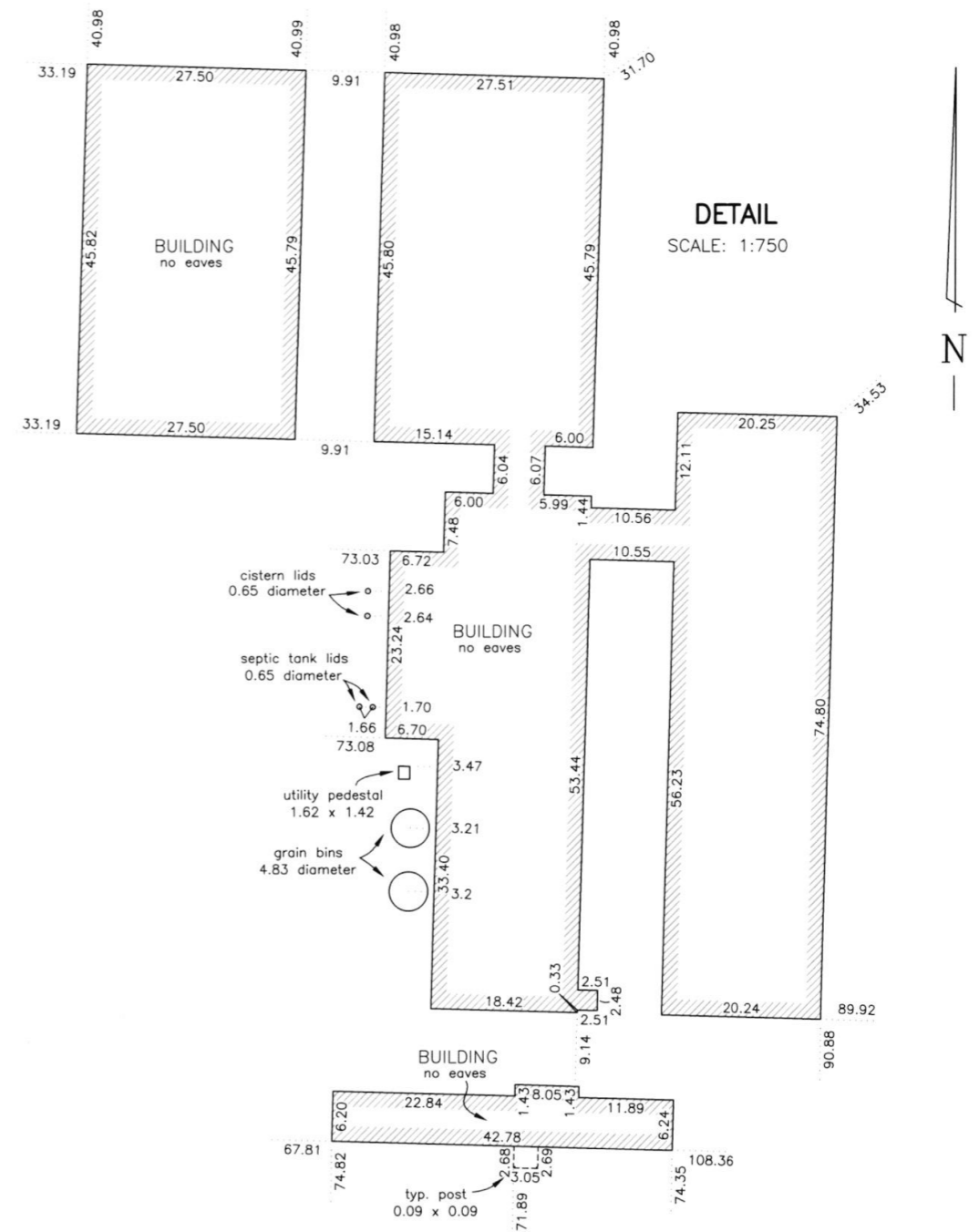
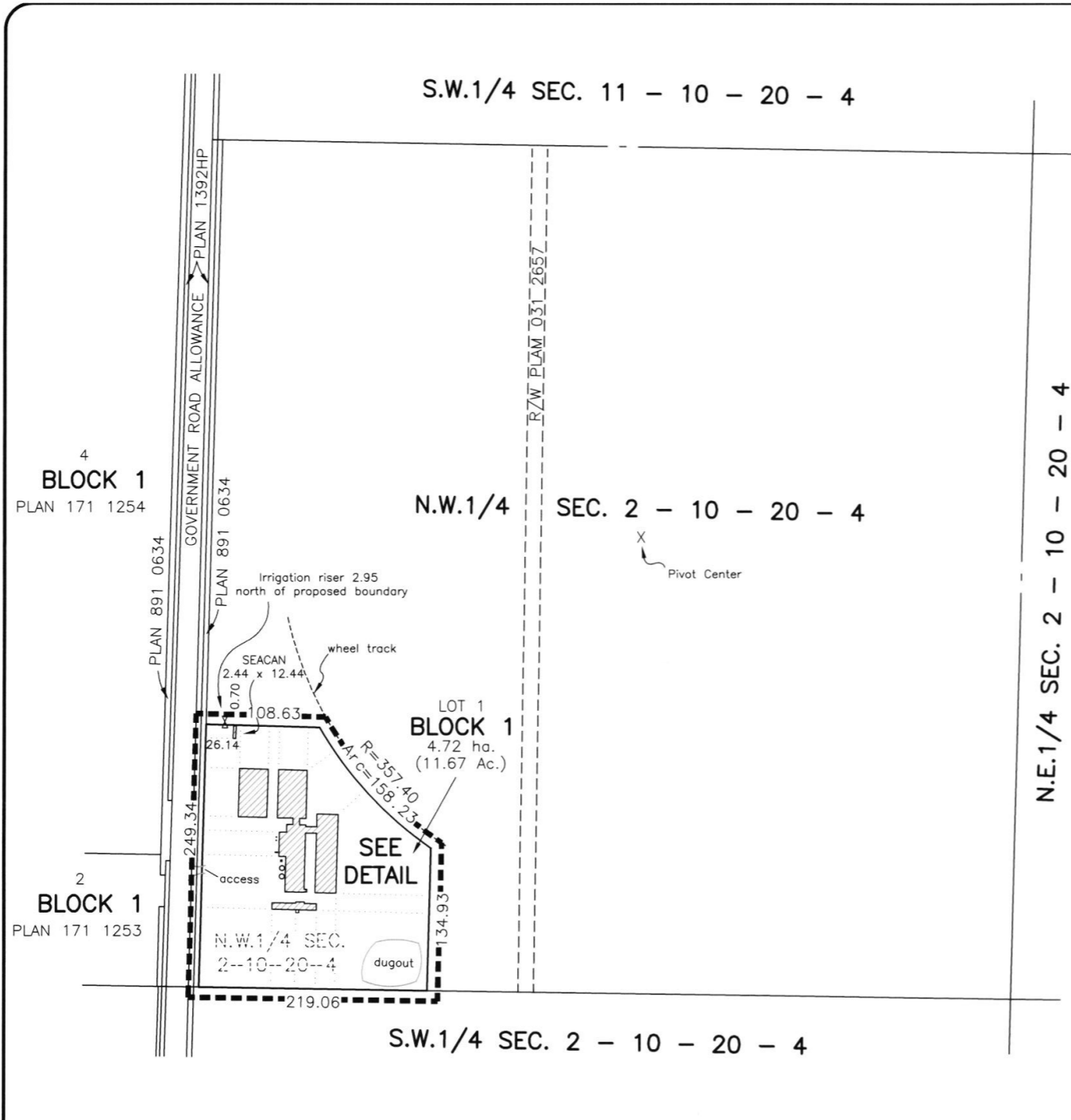
DATE: MAY 6, 2024

FILE No: 2024-0-074



May 06, 2024 N:\Subdivision\2024\2024-0-074.dwg

AERIAL PHOTO DATE: 2018



NO.	REVISION	DATE	BY
NOTE : Portion to be approved is outlined thus ----- and contains approximately 4.72 ha. Distances are in metres and decimal parts thereof. Distances and areas are approximate and are subject to change upon final survey.			

HYTECH PRODUCTION LTD.

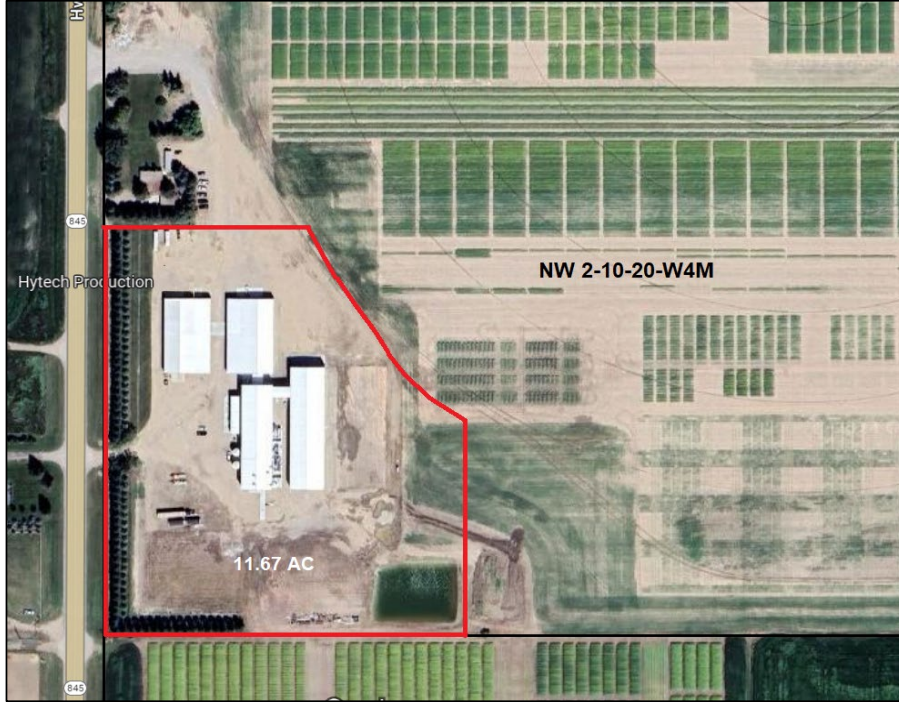
 TENTATIVE PLAN SHOWING SUBDIVISION
 of part of
 N.W.1/4 SEC. 2, TWP. 10, RGE. 20, W.4 M.

 Lethbridge County

boa brown okamura & associates ltd.
 Professional Surveyors
 2830 - 12 Avenue North, Lethbridge, Alberta

APPROVED	DRAWN BB	DATE APRIL 18/24	
	CHECKED ZJP	JOB 24-16353	
	SCALE	DRAWING	
Z.J. Prosper, A.L.S.	1:5000	24-16353T	

2024-0-074 – Hytech Production Ltd.
- NW¼ 02-10-20-W4M



AGENDA ITEM REPORT



Title: Subdivision Application #2024-0-077 – Willms / SMRID
- NE1/4 29-09-19-W4M
Meeting: Council Meeting - 20 Jun 2024
Department: ORRSC
Report Author: Steve Harty

APPROVAL(S):

Hilary Janzen, Manager, Planning & Development	Approved - 06 Jun 2024
Devon Thiele, Director, Development & Infrastructure	Approved - 10 Jun 2024
Cole Beck, Chief Administrative Officer	Approved - 11 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

The application is to subdivide a farmstead and reconfigure six adjacent titles (four being former canal R/W) through subdivision and consolidation, creating a new 4.89-acre county residential title, enlarging an existing acreage parcel to 2.75-acres, and enlarging the remnant agricultural 1/4-section title to 151.73-acres respectively in size. The proposal does not meet the subdivision criteria of the Land Use Bylaw and requires an MDS waiver.

RECOMMENDATION:

That S.D. Application #2024-0-077 be approved subject to a waiver of the MDS being granted and the conditions as outlined in the draft resolution.

REASON(S) FOR RECOMMENDATION(S):

With a waiver granted based on policy and planning reasons, the proposed subdivision otherwise meets the provincial Subdivision and Development Regulations, and the municipal subdivision policies as stated in the Land Use Bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY:

- LUB No. 24-007 contains policy to allow a farmstead subdivision of a 1/4-section if other titles were created by quasi-public agencies such as the SMRID.
- LUB No. 24-007 policies allow a realignment/reconfiguration of titles and property lines without an increase in titles. For this proposal, the 1/4-section contains six titles and will end up with three titles in the end.
- The farmyard subdivision does not meet the minimum distance separation (MDS) to a CFO located across the road to the east. The policies require that country residential subdivisions

must meet the MDS to nearby CFOs unless pre-existing conditions exist and the MDS may then be waived.

- The Subdivision Authority has the authority to grant a waiver which may be based on the criteria that the residence being subdivided was created prior to the MDS policy coming into effect, and the CFO cannot expand due to existing multiple residences in proximity.

BACKGROUND INFORMATION:

Located 3-miles northeast of the Town of Coaldale, 1½-miles north of Highway 3. The proposal is two-fold: to enable the subdivision and consolidation of former titled irrigation canal R/W that is no longer needed by the SMRID; and second, to subdivide the existing older farmyard in the ¼-section.

The landowners have an agreement with the SMRID to purchase the canal area (30 m in width) and amalgamate it into their titles. A portion of canal R/W (Plan IRR 491) situated between the two adjacent acreage yards will be evenly split (north/south) with half being consolidated into each yard title. The separate larger west canal R/W (Canal R/W Plan 021 2099) situated along the southern boundary of the ¼-section will be fully consolidated north and into the agricultural title for the NE 29-9-19-W4M. The other component is to subdivide the older farmyard (4.89-acres) that lies adjacent and north of the former canal. This yard has been here for multiple generations (80-plus years) and contains a residential dwelling and multiple agricultural out-buildings. The farm residence has access from the east road allowance and is serviced by a hauled water private cistern and has an onsite individual septic field system situated just to the north of the house. The other separate acreage in the very southeast corner, south of the canal, was not created as a private subdivision but by the irrigation district and later sold as surplus land. This is categorized as a quasi-public subdivision that does not prohibit the ¼-section landowner from subdividing.

There is a CFO across the road to the east with an early 1990s permit for 3,700 head of beef. A distance of 228 m exists from the CFO corrals to the dwelling wall, whereas a minimum distance separation of 379 m would normally be required. However, as both the CFO and the farmyard being subdivided were in existence prior to the MDS rules coming into effect, an exemption of the application of the MDS is allowed in accordance with the subdivision policy. Additionally, the farmyard was also established prior to the CFO and has been at this location for 80-plus years.

The yard subdivision meets the County's criteria as a farmstead subdivision and the 4.89-acre size complies with the LUB No. 24-007 requirements. The consolidation of titles also complies as a reconfiguration of titles with no additional titles being created above what presently exists (a reduction from six titles in the ¼-section down to three).

The application was circulated to the required external agencies and no concerns or easements are requested (at time of agenda report). Alberta Transportation has no objections (the ¼-section subject lands are identified for a portion of the future CANAMEX on the very northern perimeter, but the existing yard is well removed from the identified location).

ALTERNATIVES / PROS / CONS:

The Subdivision Authority could decide to not approve the application if it determines a MDS waiver for subdivision is not suitable.

Pros:

- There are no advantages to the County as the farmyard is pre-existing with a residence and there are no new impacts to the grandfathered CFO.

Cons:

- The fragmentation with multiple titles situation will not be rectified, and a refusal would likely be appealed by the applicants to LPRT.

FINANCIAL IMPACT:

None.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[5A Lethbridge County 2024-0-077 Approval](#)

[Diagrams 2024-0-077](#)

[2024-0-077 Certificate of Titles diagram](#)

RESOLUTION

2024-0-077

Lethbridge County

Agricultural & Country Residential subdivision of Canal ROW Plan 0212099, Canal ROW Plan IRR491 and a portion of NE1/4 29-9-19-W4M

THAT the Agricultural & Country Residential subdivision of Canal ROW Plan 0212099, Canal ROW Plan IRR491 and a portion of NE1/4 29-9-19-W4M (Certificate of Title No. 051 259 128 +1, 051 259 128, 791 152 229, 191 027 414 +1, 081 073 713, 201 216 275), to subdivide a farmyard and also reconfigure six adjacent titles (four being former canal R/W) through subdivision and consolidation, creating a new 4.89-acre (1.981 ha) county residential title, enlarging an existing acreage parcel to 2.75-acres (1.11 ha), and enlarging the remnant agricultural title in the ¼-section to 151.73-acres (61.41 ha) respectively in size; BE APPROVED subject to the following:

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to Lethbridge County.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with Lethbridge County which shall be registered concurrently with the final plan against the title(s) being created.
3. That the applicant submits a final surveyed plan as prepared by an Alberta Land Surveyor that certifies the exact location and dimensions of the parcels being subdivided in their final configuration.
4. The titles, right-of-ways, and portions of land to be subdivided and consolidated to reconfigure the boundaries and title areas of the adjacent parcels, are to be done by a plan prepared by a certified Alberta Land Surveyor in a manner such that the resulting titles cannot be further subdivided without approval of the local Subdivision Authority.
5. That any easement(s) as required by utility companies, or the municipality shall be established as deemed necessary.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw.
2. The Subdivision Authority is satisfied that the proposed subdivision and consolidation is suitable for the purpose for which the subdivision is intended pursuant to Section 9 of the Matters Related to Subdivision and Development Regulation.
3. The Subdivision Authority is satisfied that the subdivision conforms with the County's criteria as a farmyard subdivision, and the 4.89-acre size complies with the bylaw requirements. The established farmyard has been in existence well before the MDS subdivision policy came into effect and therefore conforms with the subdivision criteria (*LUB No. 24-007, Part 8, Section (2), subsection (3)*).
4. The Subdivision Authority has determined that the consolidation of titles resolves a fragmentation issue and complies with the reconfiguration of titles policy with no additional titles being created above what presently exists. In this situation, there will be a reduction from six (6) titles in the ¼-section down to three (3) in the end.

INFORMATIVE:

- (a) Reserve is not required as the proposed subdivision complies with Section 663(a) of the Municipal Government Act, in consideration that C of T 201 216 275 was created by the irrigation district.

2024-0-077
Page 1 of 3

- (b) That a legal description for the proposed parcel be approved by the Surveys Branch, Land Titles Office, Calgary.
- (c) The applicant/owner is advised that other municipal, provincial or federal government or agency approvals may be required as they relate to the subdivision and the applicant/owner is responsible for verifying and obtaining any other approval, permit, authorization, consent or license that may be required to subdivide, develop and/or service the affected land (this may include but is not limited to Alberta Environment and Protected Areas, Alberta Transportation, and the Department of Fisheries and Oceans.)
- (d) Thank you for including TELUS in your circulation.

At this time, TELUS has no concerns with the proposed activities.

- (e) Thank you for contacting FortisAlberta regarding the above application for subdivision. We have reviewed the plan and determined that no easement is required by FortisAlberta.

FortisAlberta is the Distribution Wire Service Provider for this area. The developer can arrange installation of electrical services for this subdivision through FortisAlberta. Please have the developer contact 310-WIRE (310-9473) to make application for electrical services.

Please contact FortisAlberta land services at landserv@fortisalberta.com or by calling (403) 514-4783 for any questions.

- (f) Alberta Health Services – Wade Goin, Executive Officer/Public Health Inspector:

“In response to the request for comment on the above noted subdivision, Alberta Health Services has reviewed the information and we wish to provide the following comments:

- We understand the application is to adjust lots for the former SMRID canal, and to separate out an existing farmyard.
- The application noted an existing, old CFO within the minimum distance setback of the existing, old farmyard to be subdivided out. We advise that NRCB should be consulted. As well, further residential development within the MDS may contribute to dust, odour, and similar concerns.

We do not foresee any new public health problems being created as a result of the above noted subdivision provided that the applicant complies with all pertinent regulations, by-laws, and standards.

If you require any further information, please don't hesitate to contact me.”

- (g) ATCO Transmission high pressure pipelines has no objections. Questions or concerns related to ATCO high pressure pipelines can be forwarded to hp.circulations@atco.com.
- (h) Alberta Transportation – Leah Olsen, Development/Planning Technologist:

“This will acknowledge receipt of your circulation regarding the above noted proposal. The subdivision application would be subject to the requirements of Sections 18 and 19 of the Matters Related to Subdivision and Development Regulation (The Regulation), due to the proximity of Highway(s) 3X

Transportation and Economic Corridors offers the following comments with respect to this application:

The requirements of Section 18 of the Regulation are not met. The department anticipates minimal impact on the highway from this proposal. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 18 of the Regulation.

The requirements of Section 19 of the Regulation are not met. There is no direct access to the highway and there is sufficient local road access to the subdivision and adjacent lands. Pursuant to Section 20(1) of the Regulation, Transportation and Economic Corridors grants approval for the subdivision authority to vary the requirements of Section 19 of the Regulation.

Further, should the approval authority receive any appeals in regard to this application and as per Section 678(2.1) of the Municipal Government Act and Section 7(6)(d) of the regulation, Transportation and Economic Corridors agrees to waive the referral distance for this particular subdivision application. As far as Transportation and Economic Corridors is concerned, an appeal of this subdivision application may be heard by the local Subdivision and Development Appeal Board provided that no other provincial agency is involved in the application

FOR INFORMATION PURPOSES

To that end, the applicant is advised that Highway 3 forms an integral part of the National Highway System (NHS) and North/South Trade Corridor (NSTC) of which the ultimate service classification is freeway. Given this the department's long-range freeway access management plans include a realignment of Highway 3 in the vicinity of the City of Lethbridge.

The department has endorsed the Highways 3 & 4 – Lethbridge and Area NHS & NSTC – Functional Planning Study – Final Report #R – 970 of which has identified an alignment and right-of-way requirements for the future corridor. The document is available for review through the undersigned upon request.

Whereas the parcels to be created will not be impacted by right-of-way requirements for the expansion, the remnant land will be impacted.

The timing of the realignment has yet to be determined however and to reiterate, at this juncture is considered to be long-range. However, to ensure that the future realignment plans are not unduly compromised any development on the remnant lands will require the benefit of a permit from our department. This requirement is outlined in the Highways Development and Protection Act and the corresponding Highways Development and Protection Regulation, being Alberta Regulation 326/2009.

Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:

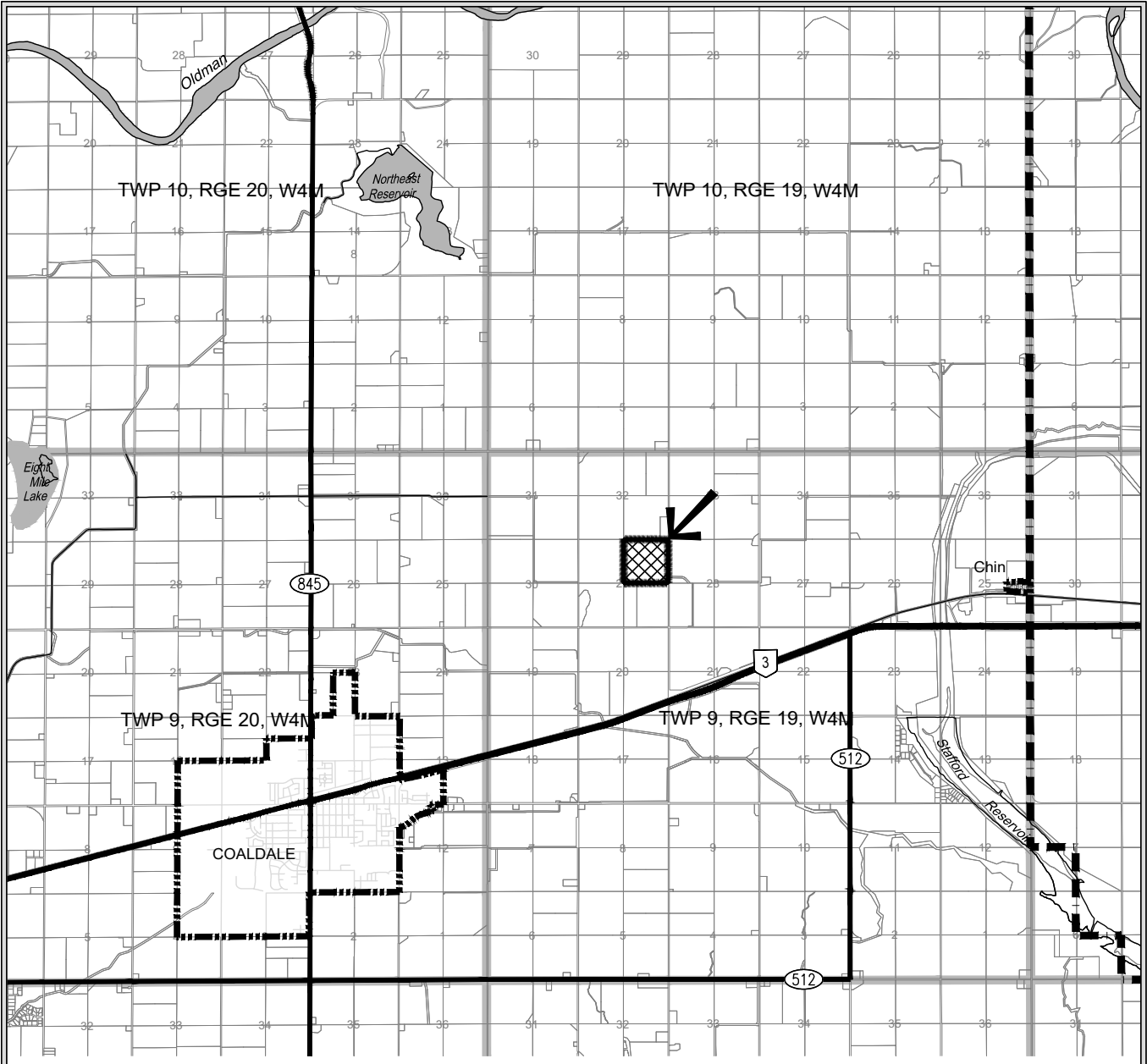
1. The department expects that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 618.4 of the Municipal Government Act

Please contact Transportation and Economic Corridors through the RPATH Portal if you have any questions, or require additional information.”

MOVER

REEVE

DATE

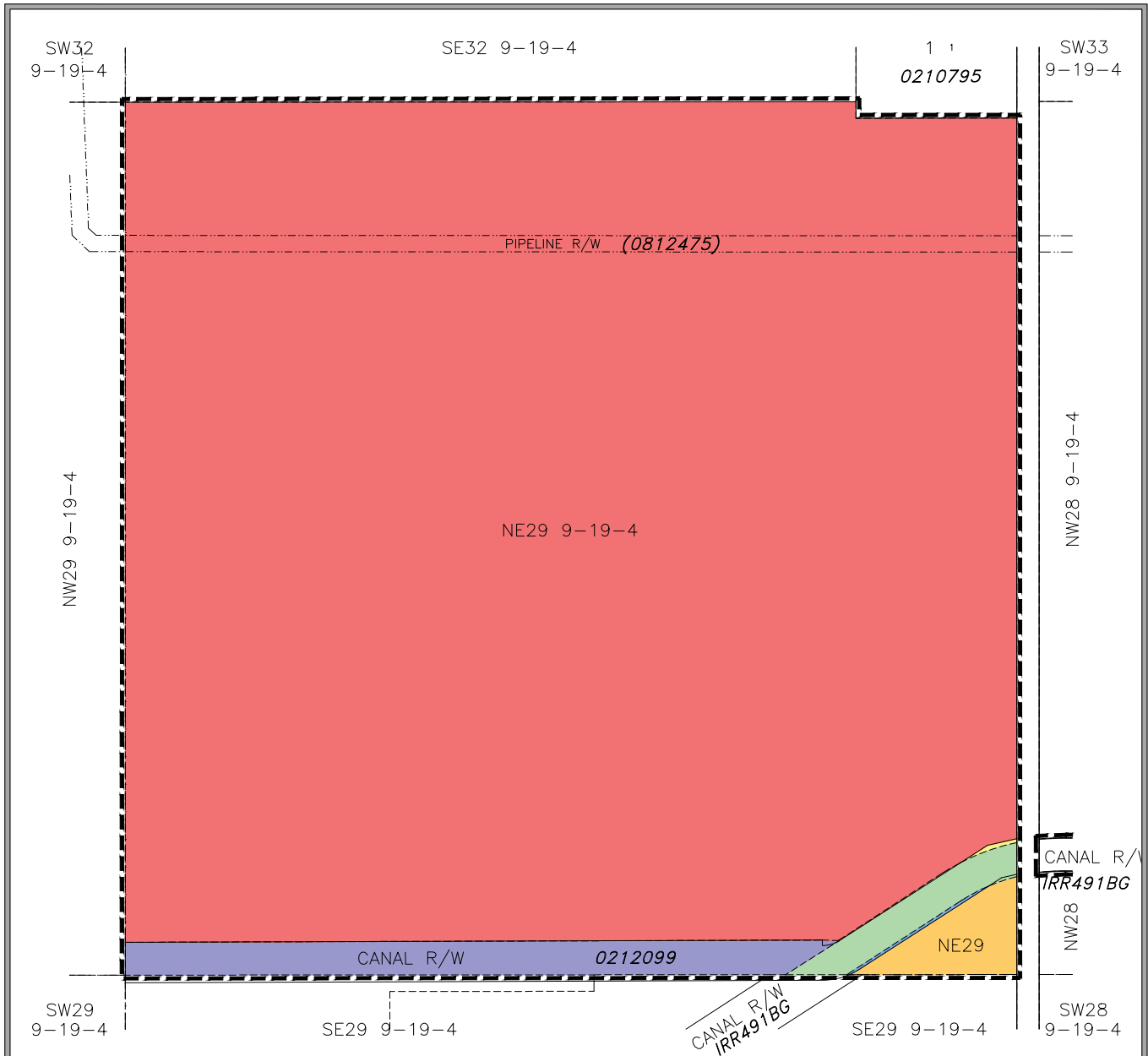


SUBDIVISION LOCATION SKETCH
PORTIONS OF CANAL R/W PLAN 491 & CANAL R/W PLAN 0212099
AND NE 1/4 SEC 29, TWP 9, RGE 19, W 4 M
MUNICIPALITY: LETHBRIDGE COUNTY
DATE: MAY 7, 2024
FILE No: 2024-0-077

MAP PREPARED BY:
 OLDMAN RIVER REGIONAL SERVICES COMMISSION
 3102 16th AVENUE NORTH, LETHBRIDGE, AB T1H 5E5
 NOT RESPONSIBLE FOR ERRORS OR OMISSIONS



May 07, 2024 N:\Subdivision\2024\2024-0-077.dwg



SUBDIVISION SKETCH - EXISTING

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16307T

PORTIONS OF CANAL R/W PLAN 491, CANAL R/W PLAN 0212099

AND NE 1/4 SEC 29, TWP 9, RGE 19, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

DATE: MAY 7, 2024

FILE No: 2024-0-077

- Title No. 081 073 713 0.032±ha(0.08±ac)
- Title No. 051 259 128 0.046±ha(0.11±ac)
- Title No. 201 216 275 0.777±ha(1.92±ac)
- Title No. 191 027 414 +1 (in NE29) 0.647±ha(1.60±ac)
- Title No. 051 259 128 +1 61.140±ha(151.08±ac)
- Title No. 791 152 229 1.89±ha(4.66±ac)

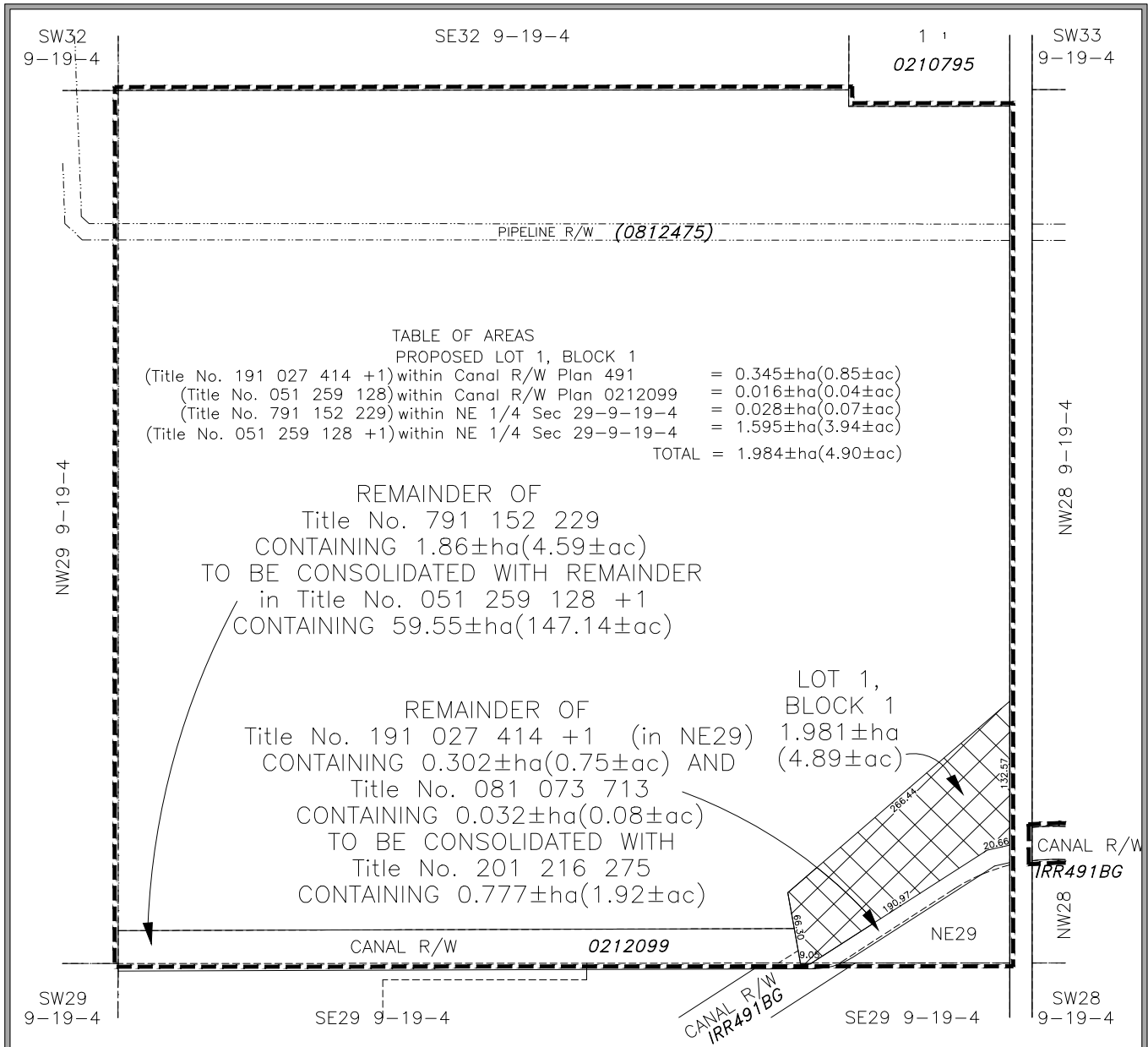


OLDMAN RIVER REGIONAL SERVICES COMMISSION

0 100 200 300 400 Metres

May 08, 2024 N:\Subdivision\2024\2024-0-077.dwg





SUBDIVISION SKETCH - PROPOSED

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16307T

PORTIONS OF CANAL R/W PLAN 491, CANAL R/W PLAN 0212099

AND NE 1/4 SEC 29, TWP 9, RGE 19, W 4 M

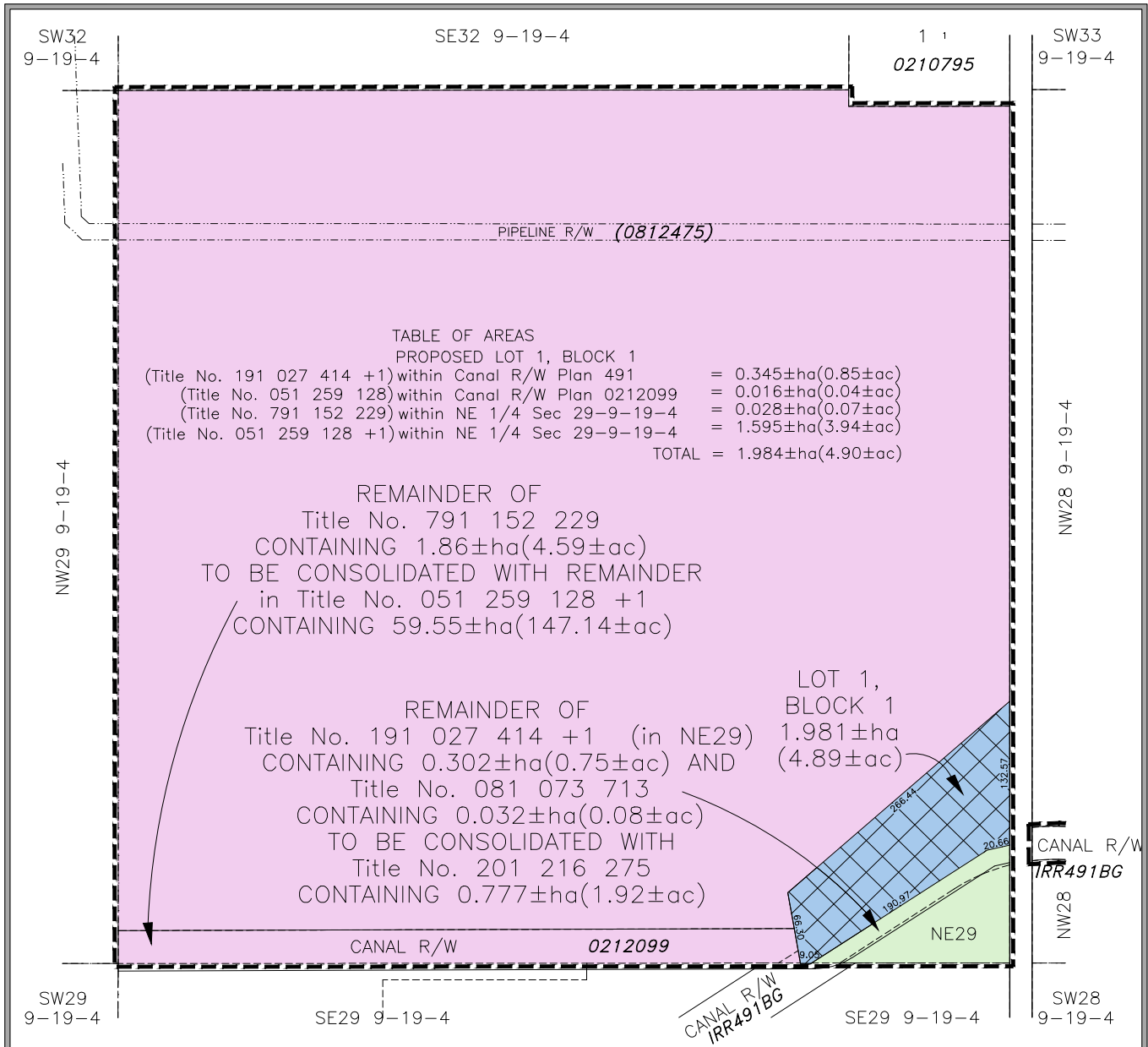
MUNICIPALITY: LETHBRIDGE COUNTY

DATE: MAY 7, 2024

FILE No: 2024-0-077



May 08, 2024 N:\Subdivision\2024\2024-0-077.dwg



SUBDIVISION SKETCH - PROPOSED

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16307T

PORTIONS OF CANAL R/W PLAN 491, CANAL R/W PLAN 0212099

AND NE 1/4 SEC 29, TWP 9, RGE 19, W 4 M

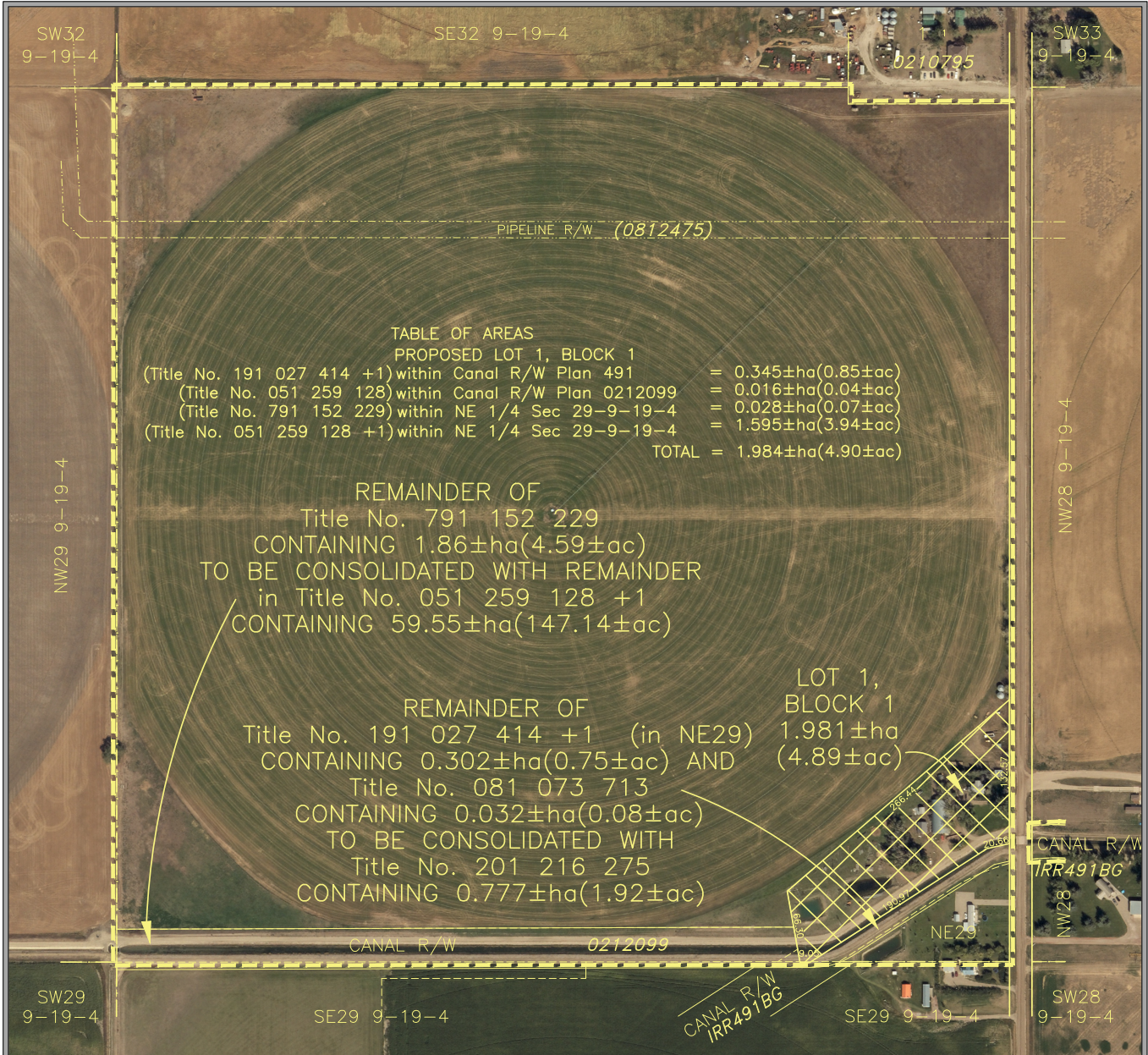
MUNICIPALITY: LETHBRIDGE COUNTY

DATE: MAY 7, 2024

FILE No: 2024-0-077



May 08, 2024 N:\Subdivision\2024\2024-0-077.dwg



SUBDIVISION SKETCH - PROPOSED

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16307T

PORTIONS OF CANAL R/W PLAN 491, CANAL R/W PLAN 0212099

AND NE 1/4 SEC 29, TWP 9, RGE 19, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

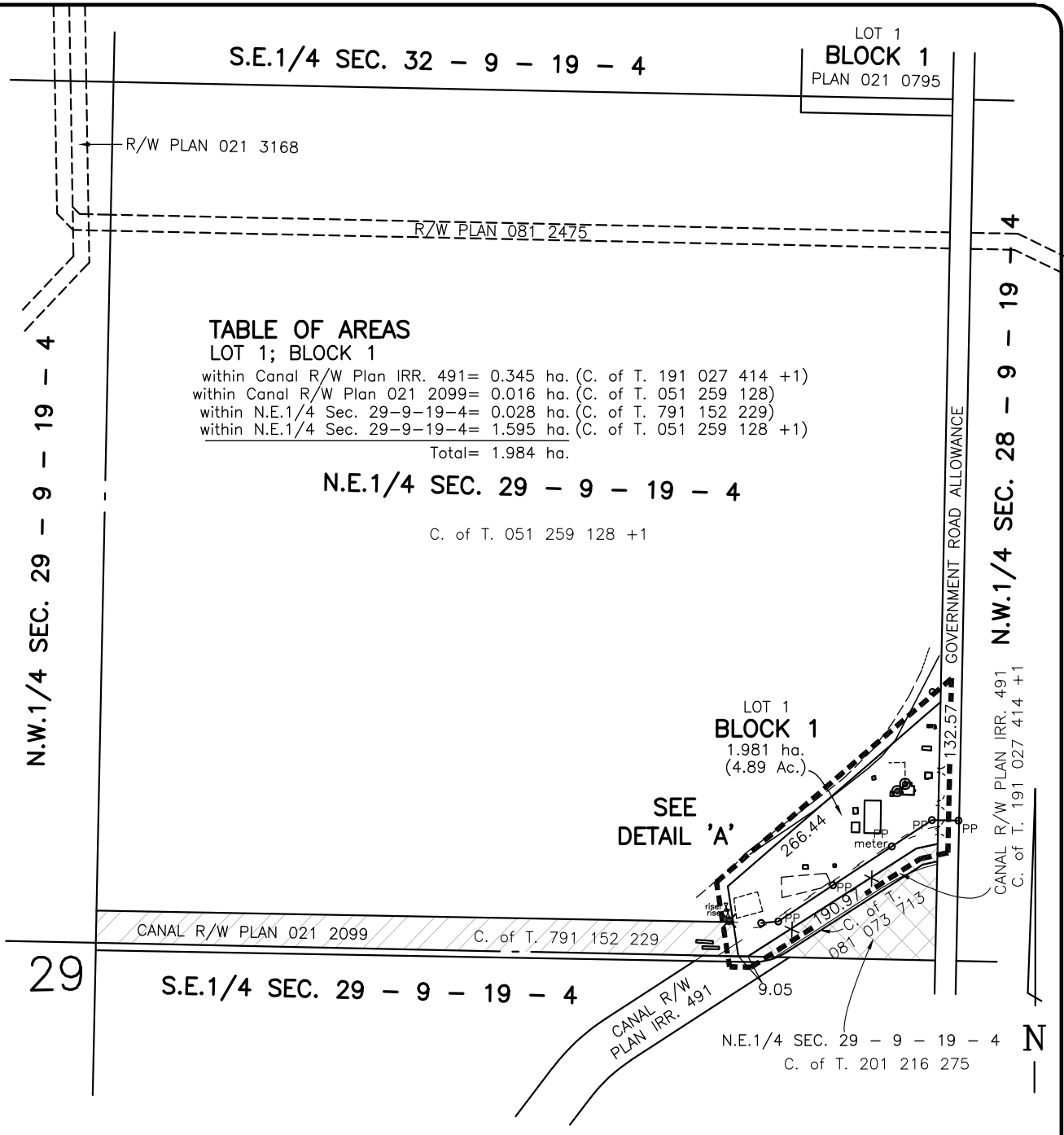
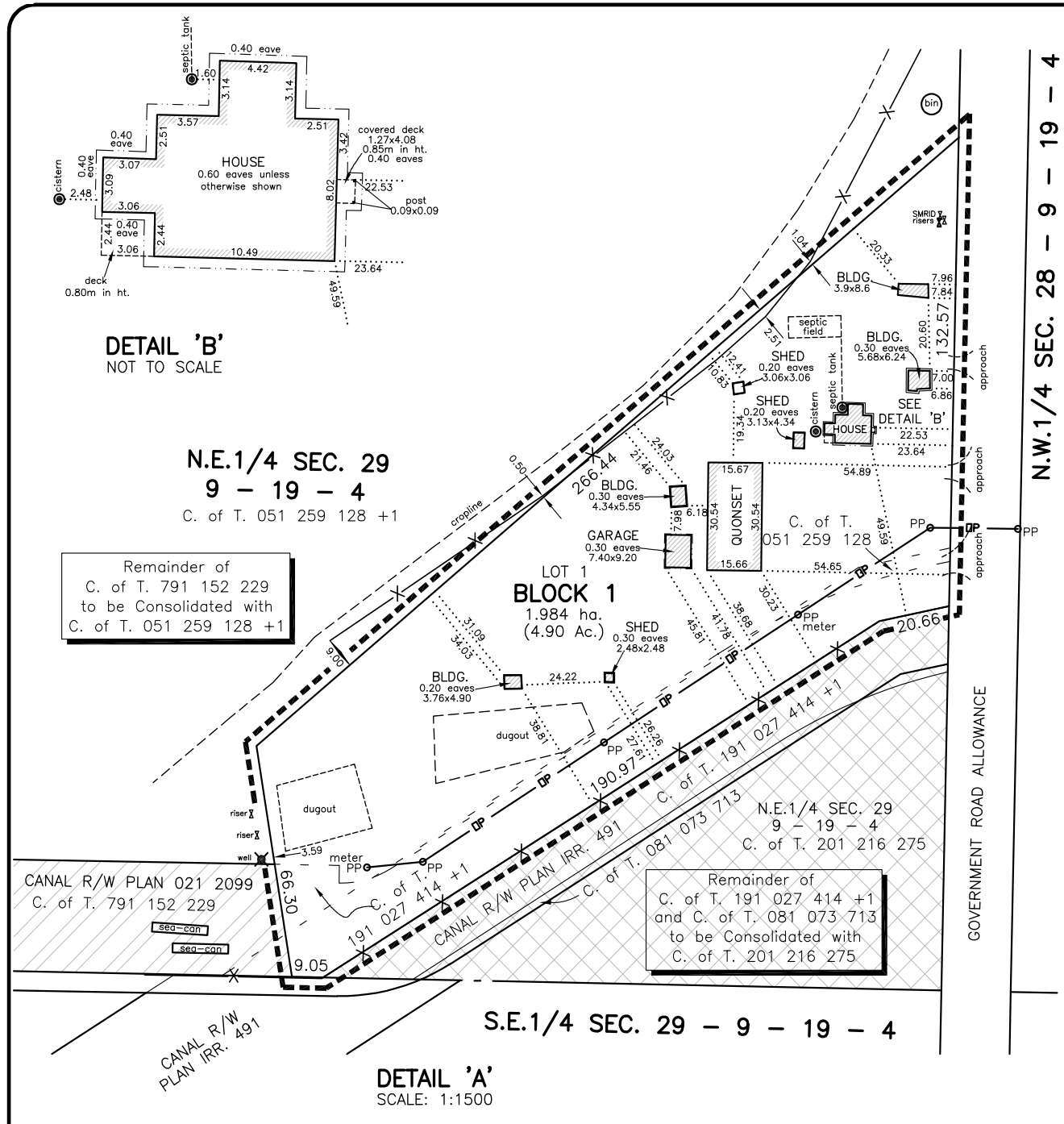
DATE: MAY 7, 2024

FILE No: 2024-0-077



May 08, 2024 N:\Subdivision\2024\2024-0-077.dwg

AERIAL PHOTO DATE: 2018



NO.	REVISION	DATE	BY
	Improvements shown were surveyed on March 11th, 2024		
	NOTE : Portion to be approved is outlined thus ----- and contains approximately 1.984 ha. Distances are in metres and decimal parts thereof.		
	Overhead line is shown thus — DP — DP —		
	PP stands for utility pole.		
	Fence lines are shown thus — X — X —		
	Distances and areas are approximate and are subject to change upon final survey.		

JOHN WILLMS FARMS

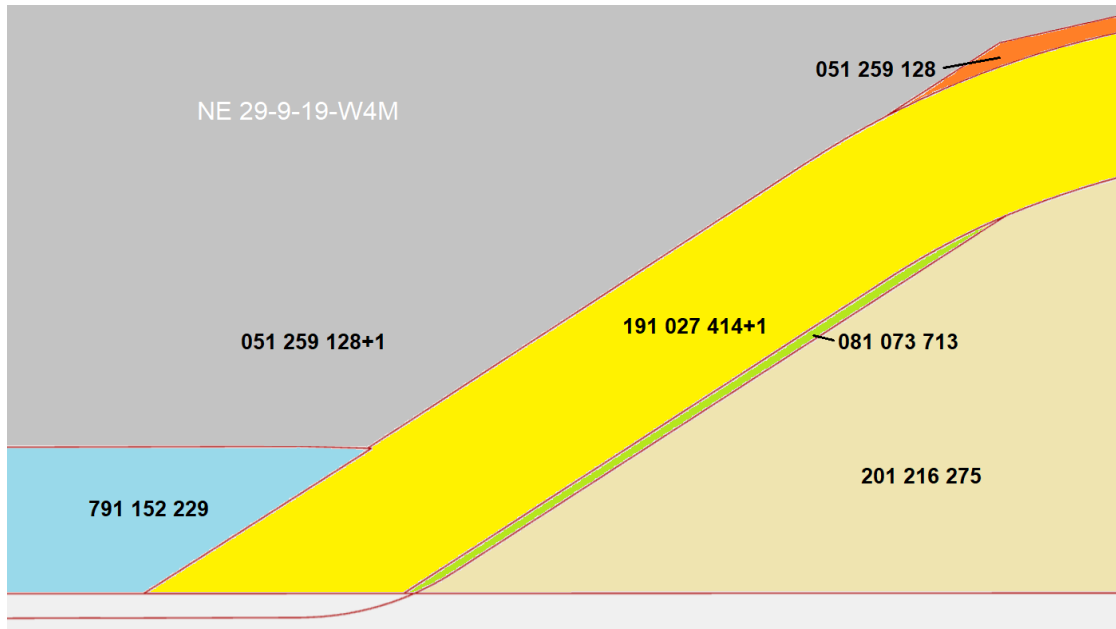
TENTATIVE PLAN SHOWING SUBDIVISION
of part of
CANAL R/W PLAN IRR. 491
CANAL R/W PLAN 021 2099
AND N.E.1/4 SEC. 29
all within
N.E.1/4 SEC. 29; TWP. 9; RGE. 19; W.4 M.
LETHBRIDGE COUNTY

boa brown okamura & associates ltd.
Professional Surveyors
2830 - 12th Avenue North, Lethbridge, Alberta

APPROVED	DRAWN CJB	DATE APRIL 11/24
	CHECKED ZJP	JOB 24-16307
	SCALE 1:5000	DRAWING 24-16307T
Z. J. Prosper A.L.S.		

2024-0-077

Certificate of Titles within NE 29-9-19-W4M



AGENDA ITEM REPORT



Title: Subdivision Application #2024-0-085 – Klassen
- Block A, B, E, Plan 899AA within NE1/4 25-9-19-4W4M (Hamlet of Chin fringe)

Meeting: Council Meeting - 20 Jun 2024

Department: ORRSC

Report Author: Steve Harty

APPROVAL(S):

Hilary Janzen, Manager, Planning & Development	Approved - 06 Jun 2024
Devon Thiele, Director, Development & Infrastructure	Approved - 10 Jun 2024
Cole Beck, Chief Administrative Officer	Approved - 11 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

The application is to create 17 titles, comprised of 13 grouped country residential titles ranging from 2.0-acres on average up to 4.57-acres in size, a private school site 3.02-acres, a 2.06-acre rural industrial title, and two PUL lots, all from a title comprised of 39.46-acres. The proposal meets the subdivision criteria of the Land Use Bylaw.

RECOMMENDATION:

That S.D. Application #2024-0-085 be approved subject to the conditions as outlined in the draft resolution.

REASON(S) FOR RECOMMENDATION(S):

The subdivision meets the applicable land use district standards, the provincial Subdivision and Development Regulations, the ASP Bylaw No. 24-002, the hamlet growth study strategies, and the municipal subdivision policies as stated in the Land Use Bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY:

- County Council redesignated the land to the 'Grouped Country Residential - GCR' and 'Business Light Industrial – BI' land use districts (Bylaw No. 24-003) in May 2024.
- Council approved Area Structure Plan (Chin Grouped Country Residential ASP Bylaw No. 24-002) that was prepared in support of the proposal.
- LUB No. 24-007 contains the GCR and BLI subdivision criteria and district standards which the proposal complies with, and the lots meet and exceed the bylaw's minimum 2.0-acre size.

- Lethbridge County has an approved Hamlet of Chin Growth Study which had preidentified these lands as part of the strategy to accommodate residential growth in the Chin area.
- The land is within the Intermunicipal Development Plan (IDP) area with the MD of Taber who were consulted during the ASP process. The subdivision does not conflict with or contravene any applicable IDP policies.

BACKGROUND INFORMATION:

The parcel is located immediately north of the Hamlet of Chin boundary and adjacent to the municipal boundary with the MD of Taber. The proposal is to create new grouped country residential titles to support Chin area growth.

The land is vacant other than a pre-existing farmyard located in the SE corner. The southern 2.06-acres of the yard (designated BLI) has an automotive/tire business. The north yard portion contains a dwelling and other various improvements and will be a 4.57-acre GCR lot. The SW corner (proposed 3.02-acre lot) will remain Urban Fringe to contain a private school that has an approved development permit. The proposal also includes two PULs (1.01 and 1.40-acres in size) to be dedicated to the Country to manage storm water drainage. A storm water management analysis was provided in the ASP and the developer will be required to meet Lethbridge County requirements and comply with the Water Act. For servicing, the proposal is to have private hauled cistern water and individual on-site septic field systems. It is intended that if additional rural coop water units become available that the lot owners would connect to that system. A geotechnical engineering report and comprehensive soils analysis was undertaken at the ASP stage.

Access will be provided by a new 20 m wide graveled road extension to Naismith St. in Chin and loop north and east to Range Road 19-0 (MD of Taber jurisdiction). As part of the ASP, an engineered Traffic Memo was prepared to confirm the traffic generated will not negatively impact Rge Rd 19-0 and Highway 3. The established farmyard has existing approaches in place to the local road. There are no abandoned gas wells located in the subject parcel and there are also no identified potential historical resources on or adjacent to the land.

The proposal meets the requirements of the applicable Land Use Bylaw land use districts including the lot sizes, and servicing was outlined in the ASP. The submitted subdivision application conforms to the ASP Bylaw No. 24-002. The application was circulated to the required external agencies with no concerns expressed and no utility easements are requested (at time of agenda report). The MD of Taber and AT have not provided a response to date.

ALTERNATIVES / PROS / CONS:

The Subdivision Authority could decide to not approve, and the parcel would remain as is.

Pros:

- there are no advantages to denying the subdivision as it meets the subdivision criteria of the County and the adopted ASP.

Cons:

- this would undermine the County's hamlet growth initiatives in encouraging new residential growth opportunities and contradict adopting the ASP for the proposal.

FINANCIAL IMPACT:

None direct, but the County will benefit from a municipal reserve payment of approximately \$65,109.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[5A Lethbridge County 2024-0-085 Approval
Diagrams 2024-0-085](#)

RESOLUTION

2024-0-085

Lethbridge County

Industrial and County Residential subdivision of Block A, B, E, Plan 899AA within NE1/4 25-9-19-4W4M

THAT the Industrial and County Residential subdivision of Block A, B, E, Plan 899AA within NE1/4 25-9-19-4W4M (Certificate of Title No. 181 100 853), to create 17 titles (16 new), comprised of 13 grouped country residential titles ranging from 2.0-acres on average up to 4.57-acres (0.810 to 1.850 ha) in size, a private school site 3.02-acres (1.221 ha), a 2.06-acre (0.832 ha) rural industrial title, and two PUL lots, all from a title comprised of 39.46-acres (15.97 ha) in size; BE APPROVED subject to the following:

RESERVE: The 10% reserve requirement, pursuant to Sections 666 and 667 of the Municipal Government Act, be provided as money in place of land on the 39.46-acres at the market value of \$16,500 per acre with the actual acreage and amount to be paid to Lethbridge County be determined at the final stage, for Municipal Reserve purposes.

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to Lethbridge County.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with Lethbridge County which shall be registered concurrently with the final plan against the title(s) being created. This agreement may address the construction of roads, approaches, stormwater management, PULs, provision of security and any other matter deemed necessary.
3. That the applicant submits a final plan as prepared by an Alberta Land Surveyor that certifies the exact location and dimensions of the parcel being subdivided and the new lots created, as approved.
4. That the applicant shall meet any MD of Taber road and maintenance standards that may be required for Rge Rd 19-0, which can be addressed through the terms of the Development Agreement with Lethbridge County.
5. That the applicant provides a 10m utility right-of-way plan and easement agreement to be registered along the frontage of each lot to allow for future installation of a water line or other utilities.
6. That the applicant provides a 6m utility right-of-way plan and easement agreement to be registered along the frontage of each lot to allow for installation of shallow utilities, unless this is combined with the water line R/W s as a larger joint use easement.
7. That the applicant is responsible for obtaining and submitting a copy of any required approval granted under the Water Act and a registration under EPEA from the APEA for the storm water management plan to Lethbridge County, prior to final endorsement of the subdivision.
8. That any easement(s) as required by utility companies, or the municipality shall be established.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw.
2. The Subdivision Authority is satisfied that the proposed subdivision with the conditions imposed is suitable for the purpose for which the subdivision is intended pursuant to Section 9 of the Matters Related to Subdivision and Development Regulation.

2024-0-085
Page 1 of 2

3. The Subdivision Authority has determined the application conforms to the Chin Grouped Country Residential ASP Bylaw No. 24-002 and also conforms to the Lethbridge County Hamlet of Chin Growth Study which had preidentified these lands to accommodate residential growth in the Chin area
4. The subdivision meets the criteria of the Lethbridge County Land Use Bylaw, and the Grouped Country Residential lots all meet the criteria and exceed the 2.0-acre minimum lot size of the bylaw. The lots proposed for BLI (business), and UR (school) use also comply.
5. No objections or concerns were received on the proposal including the Town of Taber as the land is within the IDP area.

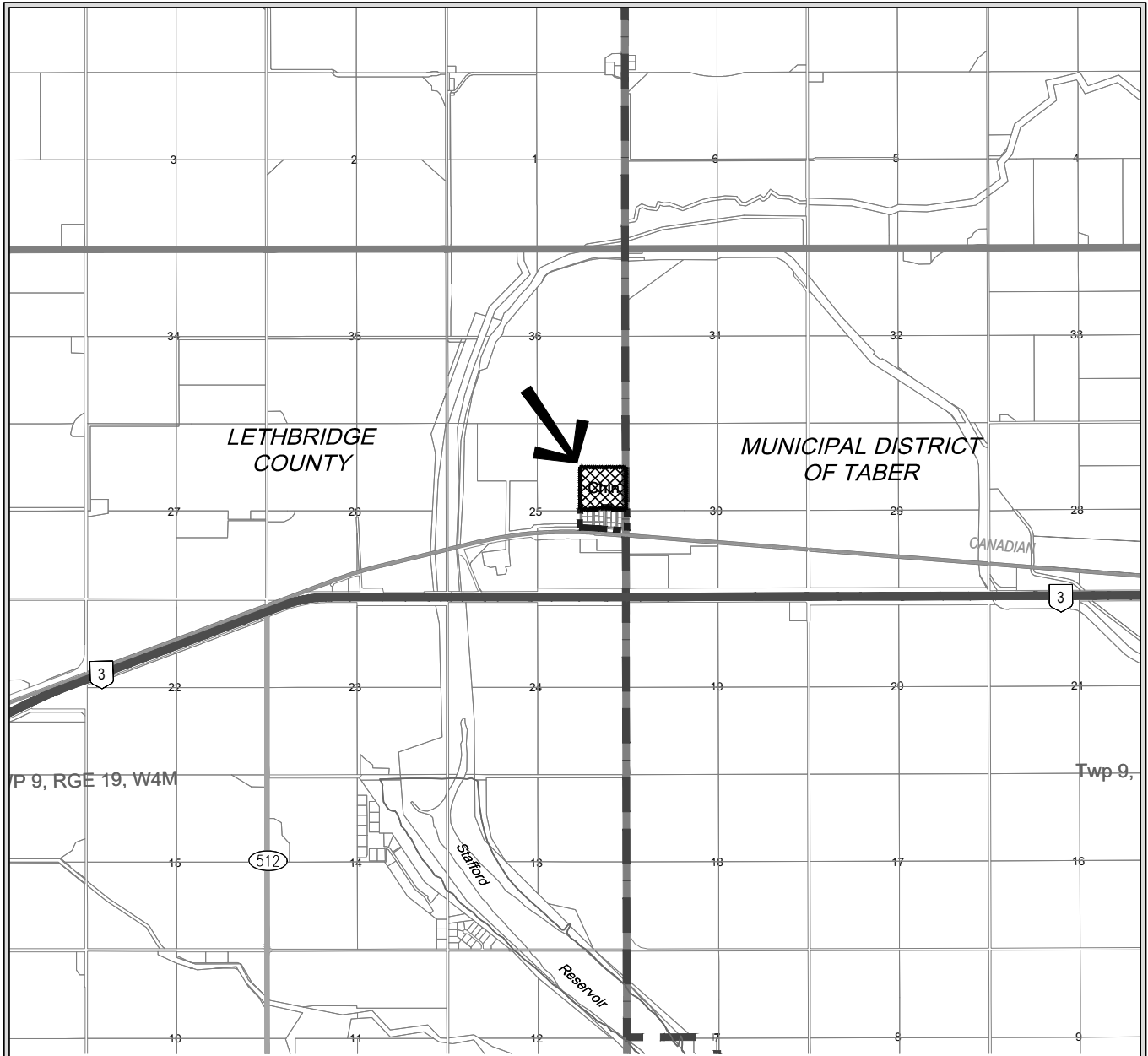
INFORMATIVE:

- (a) The payment of the 10% Municipal Reserve is applicable with respect to section 663 of the MGA and will be provided as cash-in-lieu of land at the market assessed value on the 39.46-acres.
- (b) That a legal description for the proposed parcel be approved by the Surveys Branch, Land Titles Office, Calgary.
- (c) The applicant/owner is advised that other municipal, provincial or federal government or agency approvals may be required as they relate to the subdivision and the applicant/owner is responsible for verifying and obtaining any other approval, permit, authorization, consent or license that may be required to subdivide, develop and/or service the affected land (this may include but is not limited to Alberta Environment and Protected Areas, Alberta Transportation, and the Department of Fisheries and Oceans.)
- (d) There are no concerns as far as Alberta Forestry and Parks Rangelands is concerned.
- (e) ATCO Transmission high pressure pipelines has no objections. Questions or concerns related to ATCO high pressure pipelines can be forwarded to hp.circulations@atco.com.

MOVER

REEVE

DATE

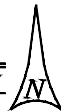


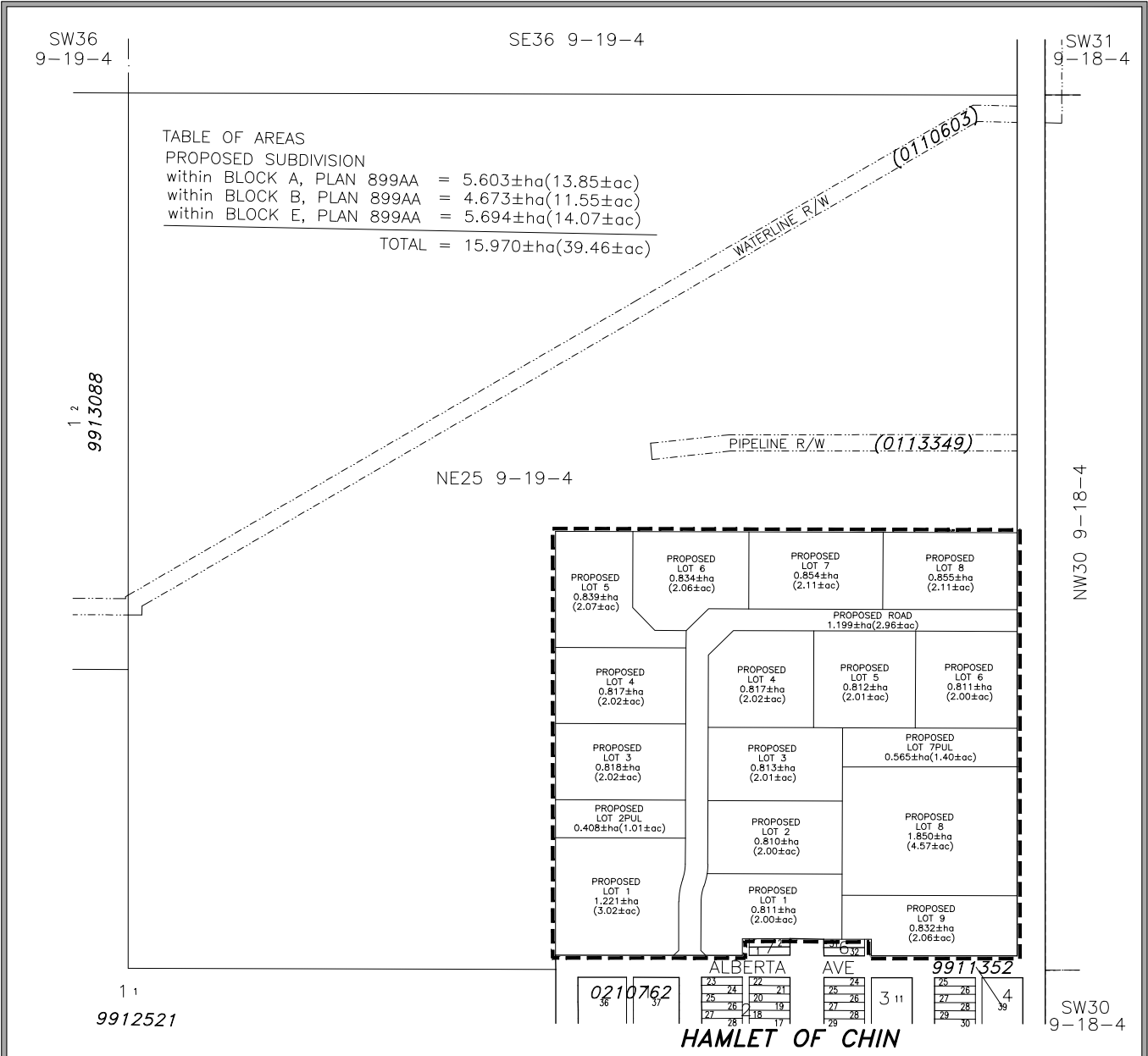
SUBDIVISION LOCATION SKETCH
BLOCK A, B & E, PLAN 899AA WITHIN
NE 1/4 SEC 25, TWP 9, RGE 19, W 4 M
MUNICIPALITY: LETHBRIDGE COUNTY
DATE: MAY 23, 2024
FILE No: 2024-0-085

MAP PREPARED BY:
 OLDMAN RIVER REGIONAL SERVICES COMMISSION
 1105 18th AVENUE NORTH LETHBRIDGE AB T1A 5E5
 "NOT RESPONSIBLE FOR ERRORS OR OMISSIONS"



May 23, 2024 N:\Subdivision\2024\2024-0-085.dwg





SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 23-16188TA_1

**BLOCK A, B & E, PLAN 899AA WITHIN
 NE 1/4 SEC 25, TWP 9, RGE 19, W 4 M
 MUNICIPALITY: LETHBRIDGE COUNTY
 DATE: MAY 23, 2024
 FILE No: 2024-0-085**



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 May 23, 2024 N:\Subdivision\2024\2024-0-085.dwg





SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 23-16188TA_1

**BLOCK A, B & E, PLAN 899AA WITHIN
 NE 1/4 SEC 25, TWP 9, RGE 19, W 4 M
 MUNICIPALITY: LETHBRIDGE COUNTY
 DATE: MAY 23, 2024
 FILE No: 2024-0-085**



May 23, 2024 N:\Subdivision\2024\2024-0-085.dwg



AERIAL PHOTO DATE: 2018

AGENDA ITEM REPORT



Title: Subdivision Application #2024-0-058 – Edward Loman Farms Ltd.
- SW1/4 35-11-21-W4M

Meeting: Council Meeting - 20 Jun 2024




Department: ORRSC

Report Author: Steve Harty

APPROVAL(S):

Hilary Janzen, Manager, Planning & Development	Approved - 06 Jun 2024
Devon Thiele, Director, Development & Infrastructure	Approved - 12 Jun 2024
Cole Beck, Chief Administrative Officer	Approved - 12 Jun 2024

STRATEGIC ALIGNMENT:

 <input type="checkbox"/>	 <input type="checkbox"/>	 <input type="checkbox"/>	 <input checked="" type="checkbox"/>
Goverance	Relationships	Region	Prosperity

EXECUTIVE SUMMARY:

The application is to subdivide a 2.75-acre first parcel out subdivision from a ¼-section title of 160.00-acres for country residential use. The proposal does meet the subdivision criteria of the Land Use Bylaw.

RECOMMENDATION:

That S.D. Application #2024-0-058 be approved subject to the conditions as outlined in the draft resolution.

REASON(S) FOR RECOMMENDATION(S):

The proposed subdivision is the first subdivision from the ¼-section and meets the provincial Subdivision and Development Regulations and the municipal subdivision policies as stated in the Land Use Bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY:

- The isolated single-parcel country residential subdivision policies are within LUB No. 24-007 that allow one subdivision per ¼-section on agricultural zoned land, which the proposed first parcel-out subdivision complies with.
- LUB No. 24-007 criteria stipulate a minimum 2.0-acre to maximum 10.0-acre parcel size to capture existing improvements (thus the proposed 2.64-acres complies).
- All required private servicing requirements are in place, including water from the north coop, septic field, public road access, and private utilities.

BACKGROUND INFORMATION:

Located approximately 3½ miles northwest of the Hamlet of Iron Springs, 2-miles north of Highway 25 and less than 1-mile east of Highway 843. The proposal is to subdivide an established farmyard adjacent to the north road allowance to create a separate yard title.

The proposed compact yard subdivision contains a dwelling, Quonset, shed and extensive tree shelterbelt. Several grain bins located on the west side of the yard and Quonset are to remain on the remnant agricultural portion title. Sewage is treated by an individual on-site septic field system south of the dwelling and water is provided by the north water coop. The septic system will remain within the confines of the property boundary once subdivided. Access is provided from the north municipal road allowance with two approaches in place to the yard.

There are no abandoned gas wells or confined feeding operations (CFOs) located in proximity where any applicable minimum distance separation (MDS) would be compromised. There are no identified environmental or provincial historical features present that require consideration.

Overall, the 2.75-acre parcel is the first parcel out subdivision from the ¼-section and meets the criteria of Land Use Bylaw No. 24-007. The application was circulated to the required external agencies and no concerns were expressed regarding the subdivision.

ALTERNATIVES / PROS / CONS:

The Subdivision Authority could decide to not approve the subdivision if it determines it is not suitable and the title would remain as is.

Pros:

- there are no advantages to denying the subdivision as it meets the criteria of the County.

Cons:

- the decision would likely be appealed as the County's criteria have been met.

FINANCIAL IMPACT:

None.

LEVEL OF PUBLIC PARTICIPATION:

- Inform Consult Involve Collaborate Empower

ATTACHMENTS:

[5A Lethbridge County 2024-0-058 Approval Diagrams 2024-0-058](#)

RESOLUTION

2024-0-058

Lethbridge County **Country Residential** subdivision of NE1/4 35-11-21-W4M

THAT the Country Residential subdivision of NE1/4 35-11-21-W4M (Certificate of Title No. 231 120 390), to subdivide a 2.75-acre (1.11 ha) first parcel out subdivision from a ¼-section title of 160.00-acres (64.75 ha) for country residential use; BE APPROVED subject to the following:

CONDITIONS:

1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to Lethbridge County.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into and comply with a Development Agreement with Lethbridge County which shall be registered concurrently with the final plan against the title(s) being created.
3. That the applicant submits a final plan as prepared by an Alberta Land Surveyor that certifies the exact location and dimensions of the parcel being subdivided.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw.
2. The Subdivision Authority is satisfied that the proposed subdivision is suitable for the purpose for which the subdivision is intended pursuant to Section 9 of the Matters Related to Subdivision and Development Regulation.
3. The proposed parcel is the first subdivision from the quarter section and is determined to be suitable for the intended purpose.

INFORMATIVE:

- (a) Since the proposed subdivision complies with Section 663(a) of the Municipal Government Act, Reserve is not required.
- (b) That a legal description for the proposed parcel be approved by the Surveys Branch, Land Titles Office, Calgary.
- (c) The applicant/owner is advised that other municipal, provincial or federal government or agency approvals may be required as they relate to the subdivision and the applicant/owner is responsible for verifying and obtaining any other approval, permit, authorization, consent or license that may be required to subdivide, develop and/or service the affected land (this may include but is not limited to Alberta Environment and Protected Areas, Alberta Transportation, and the Department of Fisheries and Oceans.)
- (d) Telus Communications Inc has no objection.
- (e) Thank you for contacting FortisAlberta regarding the above application for subdivision. We have reviewed the plan and determined that no easement is required by FortisAlberta.

FortisAlberta is the Distribution Wire Service Provider for this area. The developer can arrange installation of electrical services for this subdivision through FortisAlberta. Please have the developer contact 310-WIRE (310-9473) to make application for electrical services.

Please contact FortisAlberta land services at landserv@fortisalberta.com or by calling (403) 514-4783 for any questions.

2024-0-058
Page 1 of 3

(f) Alberta Health Services has no comment on this first parcel out subdivision, as there does not appear to be any impact to public.

(g) Lethbridge Northern Irrigation District (LNID) – Janet Beck, Administration & Land Manager:

“The above noted *Application for Subdivision* has been reviewed by the Lethbridge Northern Irrigation District (LNID) and is approved subject to the following conditions:

1. Payment in full of any outstanding irrigation rates that may be assessed on the original parcel at the time of finalization of the subdivision.
2. Payment of the District’s subdivision administration fee. The current fee is **\$682.50** (includes GST).
3. A **Water Agreement** suitable to meet the needs of the proposed 2.75 acre parcel may be required if the proposed new subdivision requires the use of irrigation water. In addition, since the delivery would be from the Lateral G3 Pipeline, a landowner construction contribution would be required for the proposed parcel at the time of signing a Water Agreement. The Lateral G3 Pipeline rate for non-irrigated parcels off a high pressure pipeline is **\$5,250.00** including GST plus the cost of a water delivery turnout, if one is required.
4. An **Easement** for the subdivided parcel for access to water from the District’s works must be in place for the supply of domestic/yard usage water, if applicable.
5. Due to the subdivision location with the parcel, acres assessed as “irrigation acres” will have to be re-arranged to suitable areas within the parcel. However, any acres assessed as “irrigation acres” which cannot be re-arranged to suitable areas within the original parcel, must be removed from the Assessment Rolls
6. The proposed setback distance from any LNID Pipeline Right-of-Way is that all permanent structures such as buildings with footings, pilings or foundations, septic tanks/fields/mounds, corrals, and silage pits, etc., be constructed a minimum distance of 15 meters (50 feet) from the outside boundary of all LNID pipeline right-of-ways and/or interests within this parcel.
7. Any alteration to District works required as a result of this subdivision is subject to District approval and payment by the applicant of all applicable costs.

Thank you for the opportunity to comment. If you require more information or would like to set up an appointment to discuss the conditions above, please contact Janet Beck, Administration & Land Manager, at the Lethbridge Northern Irrigation District Office, 403-327-3302.”

(h) Alberta Transportation – Leah Olsen, Development/Planning Technologist:

“This will acknowledge receipt of your circulation regarding the above noted proposal. The subdivision application would be subject to the requirements of Sections 18 and 19 of the Matters Related to Subdivision and Development Regulation (The Regulation), due to the proximity of Highway(s) 843

Transportation and Economic Corridors offers the following comments with respect to this application:

The requirements of Section 18 are met, therefore no variance is required. While no variance is required, the department expects the municipality will mitigate the impacts from this proposal to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 648(2)(c.2) of the Municipal Government Act.

The requirements of Section 19 are met, therefore no variance is required.

Further, should the approval authority receive any appeals in regard to this application and as per Section 678(2.1) of the Municipal Government Act and Section 7(6)(d) of the regulation, Transportation and Economic Corridors agrees to waive the referral distance for this particular subdivision application. As far as Transportation and Economic Corridors is concerned, an appeal of this subdivision application may be heard by the local Subdivision and Development Appeal Board provided that no other provincial agency is involved in the application

Transportation and Economic Corridors has the following additional comments and/or requirements with respect to this proposal:

1. The department expects that the municipality will mitigate the impacts of traffic generated by developments approved on the local road connections to the highway system, pursuant to Policy 7 of the Provincial Land Use Policies and Section 618.4 of the Municipal Government Act

Please contact Transportation and Economic Corridors through the RPATH Portal if you have any questions, or require additional information.”

- (i) In reference to the above request, please be advised of ATCO Gas' response and notify the landowner of the following:
 - ATCO Gas has no objection
 - ATCO Gas' existing and future lines are protected by an existing Utility Right of Way

ATCO Gas would also like to make the MD/County and Landowner/Developer aware of the following:

- If conducting any ground disturbance on the subject property, the landowner/developer must ensure the location of all utilities by contacting Utility Safety Partners at 1-800-242-3447 or <https://utility-safety.ca/>
- For any ground disturbance within 30m of an existing gas line please contact Crossings@atcogas.com to obtain permission (submit locate slip as back up)
- ATCO Gas requires a minimum of 6 months' notice to design and construct a new gas line, or alter an existing gas line. New Service installations, pipeline alterations, and Main extensions will be performed at the landowner/developers expense.
- If the landowner requires a single gas service please visit <https://gas.atco.com/en-ca/products-services-rates/new-services-changes/new-natural-gas-line.html>

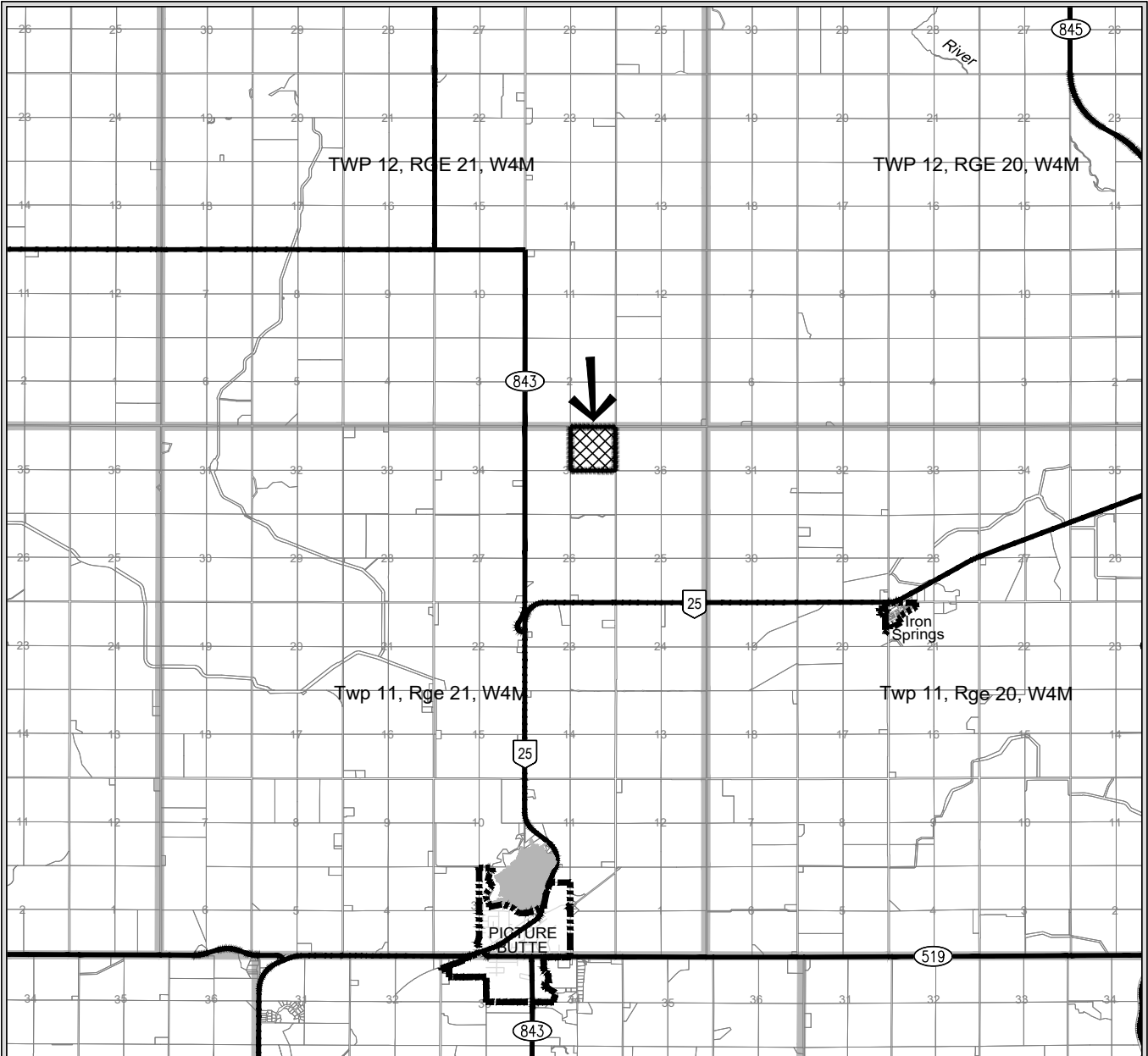
Any further questions please email southlandadmin@atco.com.

- (j) ATCO Transmission high pressure pipelines has no objections. Questions or concerns related to ATCO high pressure pipelines can be forwarded to hp.circulations@atco.com.

MOVER

CHAIRMAN

DATE

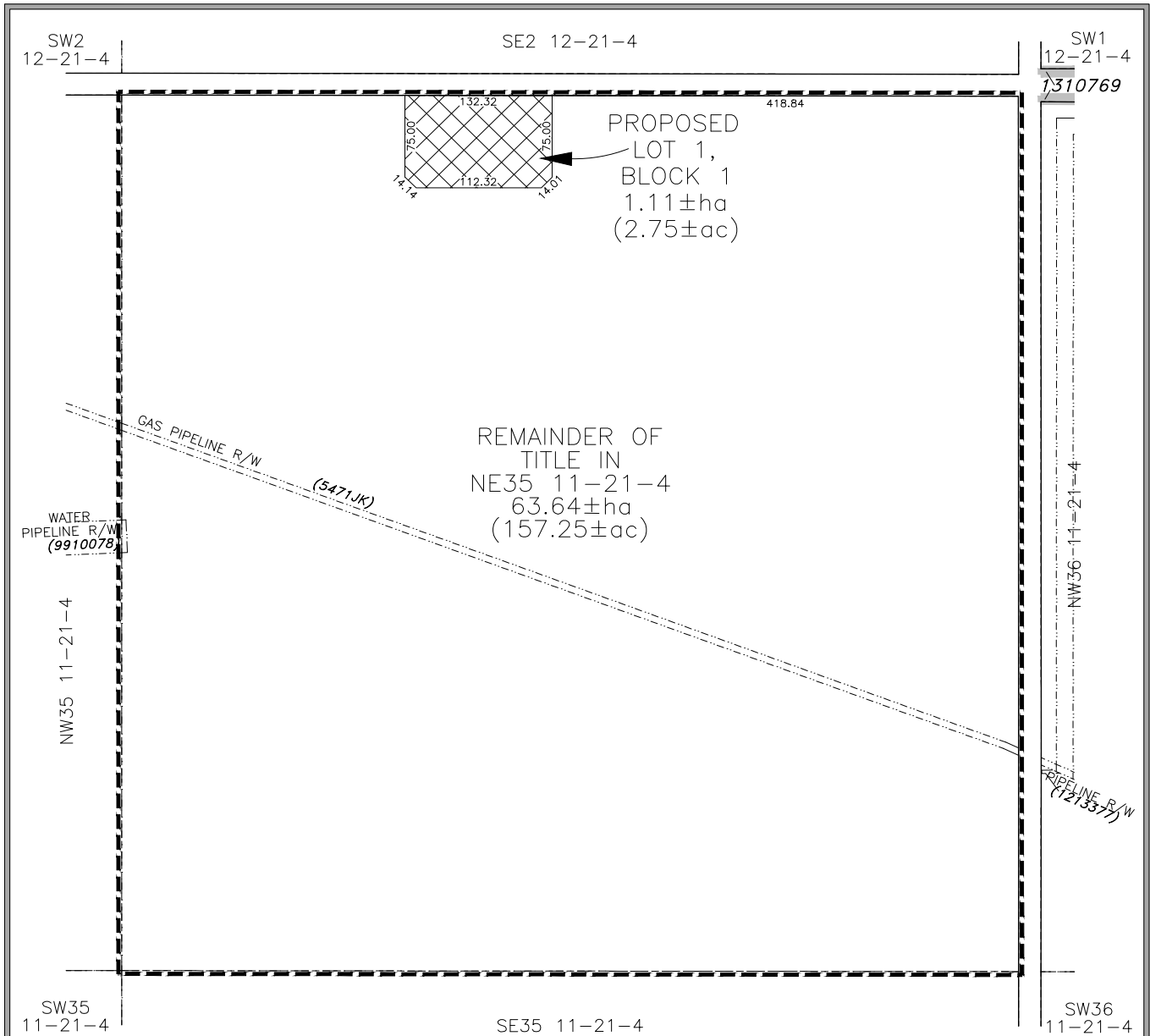


SUBDIVISION LOCATION SKETCH
NE 1/4 SEC 35, TWP 11, RGE 21, W 4 M
MUNICIPALITY: LETHBRIDGE COUNTY
DATE: APRIL 15, 2024
FILE No: 2024-0-058

MAP PREPARED BY:
 OLDMAN RIVER REGIONAL SERVICES COMMISSION
 3102 16th AVENUE NORTH, LETHBRIDGE, AB T1H 5E9
 NOT RESPONSIBLE FOR ERRORS OR OMISSIONS



April 15, 2024 N:\Subdivision\2024\2024-0-058.dwg



SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16298TB

NE 1/4 SEC 35, TWP 11, RGE 21, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

DATE: APRIL 15, 2024

FILE No: 2024-0-058



April 15, 2024 N:\Subdivision\2024\2024-0-058.dwg





SUBDIVISION SKETCH

See tentative plan of subdivision by Brown Okamura & Associates Ltd. file no. 24-16298TB

NE 1/4 SEC 35, TWP 11, RGE 21, W 4 M

MUNICIPALITY: LETHBRIDGE COUNTY

DATE: APRIL 15, 2024

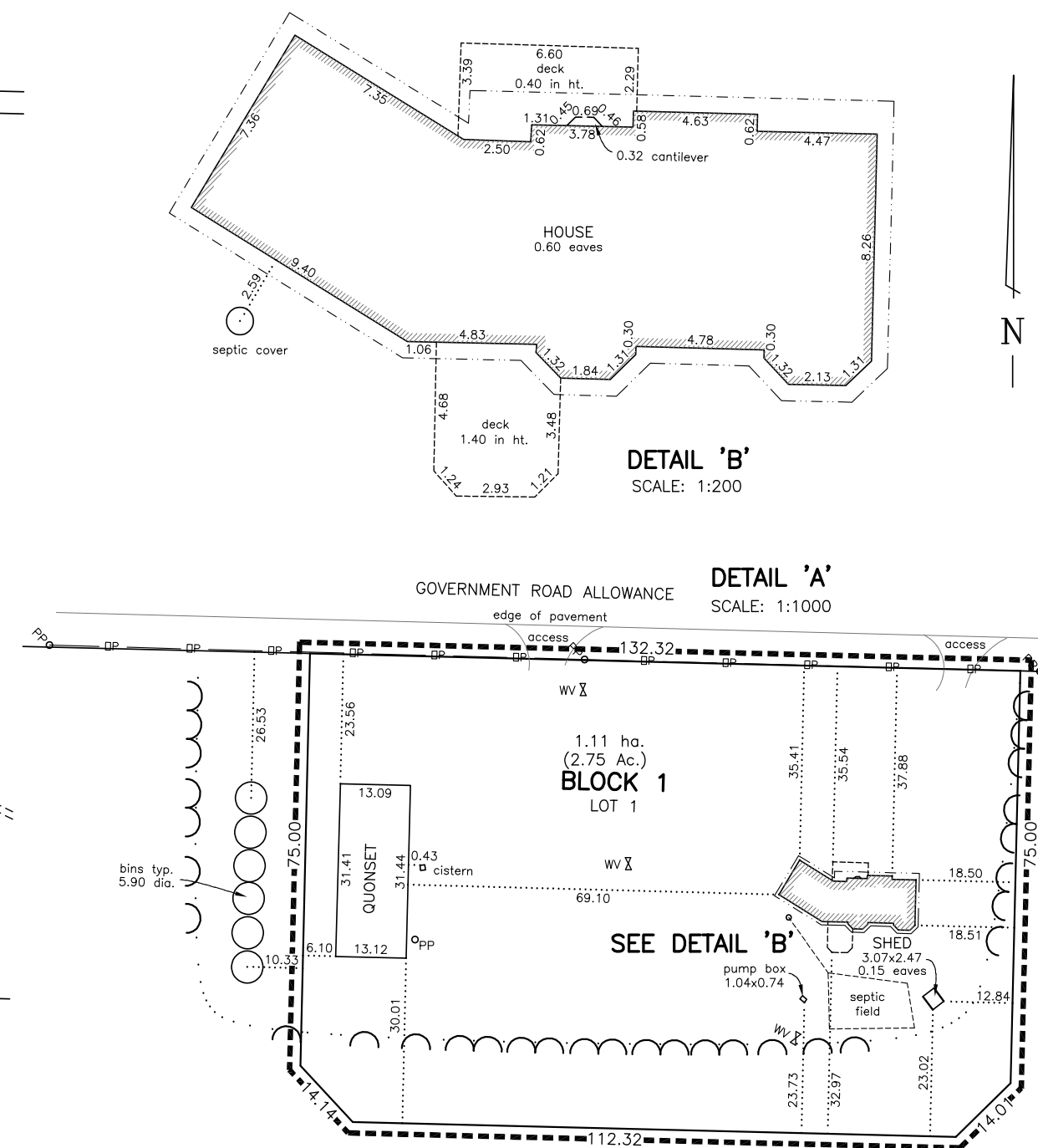
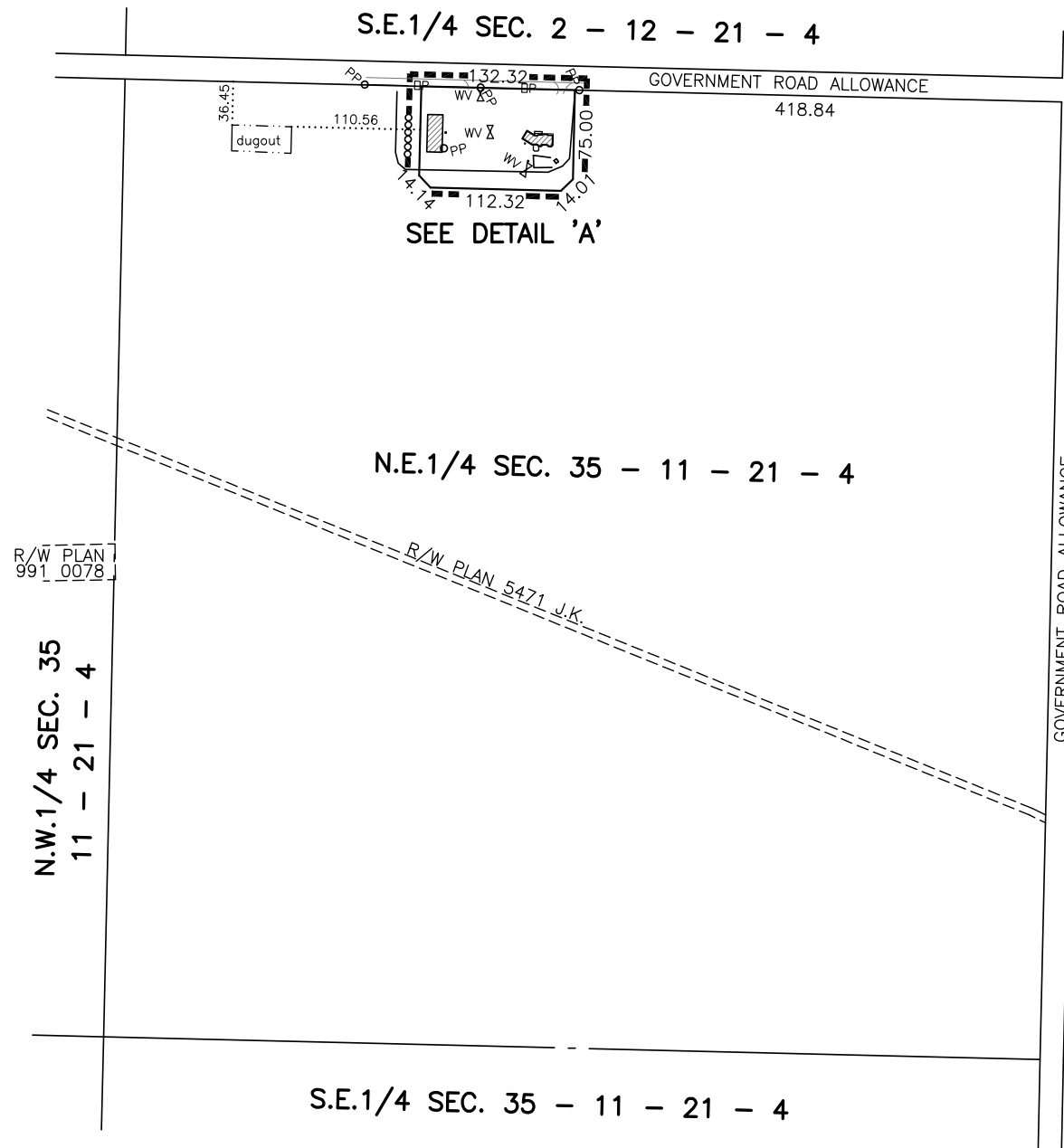
FILE No: 2024-0-058



April 15, 2024 N:\Subdivision\2024\2024-0-058.dwg



AERIAL PHOTO DATE: 2018




NO.	REVISION	DATE	BY
NOTE : Portion to be approved is outlined thus ----- and contains approximately 1.11 ha. Distances are in metres and decimal parts thereof. Distances and areas are approximate and are subject to change upon final survey.			

EDWARD LOMAN FARMS INC.

TENTATIVE PLAN SHOWING SUBDIVISION
of part of
N.E.1/4 SEC. 35, TWP. 11, RGE. 21, W.4 M.

Lethbridge County



brown okamura & associates ltd.
Professional Surveyors
2830 - 12 Avenue North, Lethbridge, Alberta

APPROVED	DRAWN MJ	DATE MAR 26/24
	CHECKED ZJP	JOB 24-16298
Z.J. Prosper, A.L.S.	SCALE 1:5000	DRAWING 24-16298TB

AGENDA ITEM REPORT



Title: Bylaw 23-012 - Road Closure, Sale and Consolidation- 2nd and 3rd Reading
Meeting: Council Meeting - 20 Jun 2024
Department: Development & Infrastructure
Report Author: Hilary Janzen

APPROVAL(S):

Devon Thiele, Director, Development & Infrastructure
Cole Beck, Chief Administrative Officer

Approved - 28 May 2024
Approved - 30 May 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

An application has been made to close all of 4th Street and the adjacent laneways in Iron Springs by the adjacent landowner.

RECOMMENDATION:

- That Bylaw 23-012 be read a 2nd time.
- That Bylaw 23-012 be read a 3rd time.

REASON(S) FOR RECOMMENDATION(S):

Bylaw 23-012 has received Ministerial approval.

PREVIOUS COUNCIL DIRECTION / POLICY:

- Policy 109A - Road Allowance Closure and Sale approved by County Council on March 6, 2014 with revisions approved on November 5, 2020.
- The Public Hearing for Bylaw 23-019 was held on June 1, 2023

BACKGROUND INFORMATION:

An application has been made to close all of 4th Street and the adjacent lane-ways by the adjacent landowner in Iron Springs (as shown on the enclosed map). It has been determined that this road is no longer required as part of the Lethbridge County road network.

If the road closure were successful, the lands would be consolidated with the adjacent properties and all the titles will be consolidated onto one title. Alberta Transportation has been circulated with the proposed road closure and has no objections with the County proceeding with the closure, sale and consolidation.

The Minister of Alberta Transportation and Economic Corridors has approved the road closure and the bylaw can be read for a 2nd and 3rd time.

ALTERNATIVES / PROS / CONS:

County Council may choose to refuse 2nd reading of Bylaw 23-012.

Pros:

- None identified.

Cons:

- The County would forgo the sale revenue.
- The County would have to manage and maintain the road way.

FINANCIAL IMPACT:

The applicant will be required to pay the assessed land value (\$40,000 per acre) for the roadway and lanes. The total size of the road closure area is 0.71 acres, therefore the payment would be \$28,400 to the County.

LEVEL OF PUBLIC PARTICIPATION:

- Inform Consult Involve Collaborate Empower

ATTACHMENTS:

- [Bylaw 23-012 - Signed by ATEC](#)
- [Letter from ATEC - May 14 2024](#)
- [Bylaw 23-012 Road Closure Application](#)

- [Bylaw 23-012 Advertising Map](#)

**BYLAW NO. 23-012
OF LETHBRIDGE COUNTY
IN THE PROVINCE OF ALBERTA**

A BYLAW OF LETHBRIDGE COUNTY FOR THE PURPOSE OF CLOSING TO PUBLIC TRAVEL AND CREATING TITLE TO AND DISPOSING OF PORTIONS OF A PUBLIC HIGHWAY IN ACCORDANCE WITH SECTION 22 OF THE MUNICIPAL GOVERNMENT ACT, CHAPTER M26, REVISED STATUTES OF ALBERTA 2000, AS AMENDED.

WHEREAS, the lands hereafter described are no longer required for public travel,

WHEREAS, application has been made to Council to have the roadway closed, and;

WHEREAS, the Council of LETHBRIDGE COUNTY deems it expedient to provide for a bylaw for the purpose of closing to public travel certain roads or portions thereof, situated in the said municipality and thereafter creating title to and disposing of same and;

WHEREAS, notice of intention of Council to pass a bylaw has been given in accordance with Section 606 of the Municipal Government Act, and;

WHEREAS, Council was not petitioned for an opportunity to be heard by any person claiming to be prejudicially affected by the bylaw;

NOW THEREFORE BE IT RESOLVED that the Council of LETHBRIDGE COUNTY in the Province of Alberta does hereby close to Public Travel and creating title to and disposing of the following described highways, subject to rights of access granted by other legislation.


PLAN 6481DI
ALL THOSE PORTIONS OF LANE WITHIN BLOCK 4 AND FOURTH STREET EAST FORMING PART OF LOT 10, BLOCK 6, PLAN _____, CONTAINING 0.135 HECTARES (0.33 ACRES) MORE OR LESS


AND

PLAN 8310792
ALL THOSE PORTIONS OF LANE WITHIN BLOCK 6, FOURTH STREET EAST AND CUTOFFS FORMING PART OF LOT 10, BLOCK 6, PLAN _____, CONTAINING 0.154 HECTARES (0.38 ACRES) MORE OR LESS

EXCEPTING THEREOUT ALL MINES AND MINERALS

GIVEN first reading this 20 day of April, 2023.



Reeve


Chief Administrative Officer

Public Hearing held on June 1, 2023

Forwarded to the Minister of Transportation on: _____

Approved this 14 day of May, 2024



Minister of Transportation ✓ AND ECONOMIC CORRIDORS

GIVEN second reading this _____ day of _____, 20____.

Reeve

Chief Administrative Officer

GIVEN third reading this _____ day of _____, 20____.

Reeve

Chief Administrative Manager



TRANSPORTATION AND ECONOMIC CORRIDORS
TECHNICAL STANDARDS BRANCH
2ND FLOOR, TWIN ATRIA BUILDING
4999-98 AVENUE
EDMONTON, ALBERTA, CANADA
T6B 2X3

TELEPHONE NO: 780-427-7902
Toll Free Connection Dial 310-0000

23-15885

May 14, 2024

Brown, Okamura & Associates
2830 – 12 Avenue North
Lethbridge, AB T1H 5J

Attention: Thomas Penner

RE: **ROAD CLOSURE – BYLAW 23-012 (RPATH0039760)**

Enclosed are:

1. the above noted bylaw which was approved by Alberta Transportation and Economic Corridors for closure and disposal on May 14, 2024.
2. Endorsed copies of the right of way agreement with FortisAlberta *which must be registered concurrently* with the bylaw at Land Titles.

Following the second and third readings by Council, the bylaw may be registered at Land Titles.

Please notify me when registration is complete.

Yours truly,

Laura Miller

Digitally signed by Laura Miller
Date: 2024.05.14 11:46:20
-06'00'

Road Closure Coordinator

cc: Evan Neilsen
Development and Planning Technologist
Lethbridge, Alberta

Enclosures

Classification: Protected A

SCANNED



**LETHBRIDGE COUNTY
APPLICATION FOR ROAD CLOSURE**

OFFICE USE		
Date of Application: <u>February 29/2023</u>	Assigned Bylaw	No. <u>23-012</u>
Date Deemed Complete: <u>February March 6/2023</u>	Application & Processing Fee:	\$ <u>1500.00</u>
	Assessed Value:	\$ <u>40,000 per acre</u>

APPLICANT INFORMATION

Name of Applicant: Timothy + Yolanda Smith

Mailing Address: Box 22 Iron Springs **Phone:** 403 977 0528 (Timothy)
TOK 1G10 403 359 1705 (Yolanda)

Postal Code: TOK 1G10 **Email:** yolandareimer@gmail.com

Name of Owner: _____
(if not the applicant)

Mailing Address: _____ **Phone:** _____

Postal Code: _____ **Email:** _____

ROAD CLOSURE INFORMATION

The applicant shall provide the following information:

- A map showing proposed road closure area and the applicant's property,
- Copy of the certificate of title(s) to which the road closure would be consolidated to,
- Legal Description of the proposed Road Closure (acceptable at the Land Titles Office)
- If there are other adjacent landowners provide written confirmation that they have been consulted with on the proposed road closure,
- Provide the reasons for the road closure request, and
- Application fee payment (See Schedule of Fees).

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application.

The applicant is responsible for all road closure costs including the road closure application fee, all costs associated with the Transfer of Land (surveying costs, transfer documents, registration, etc.), land purchase costs (based on the assessed value).



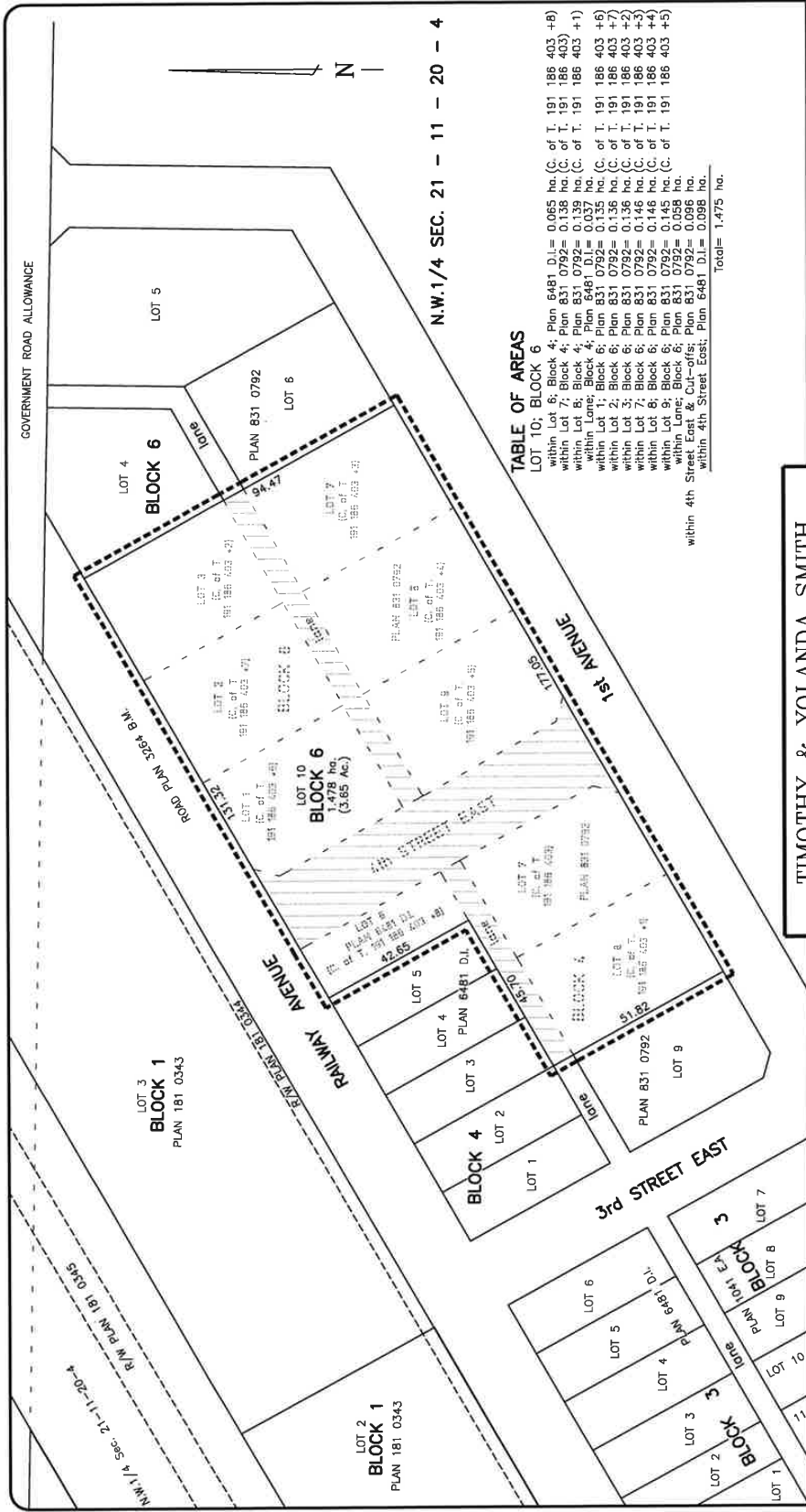
Feb 8, 2023

APPLICANT

DATE

FOIP STATEMENT: Personal information on this form is collected under the authority of section 33(c) of the Freedom of Information and Protection of Privacy (FOIP) Act. The information collected here will be used to by Lethbridge County for the purposes of reviewing the Road Closure application. This form is a public record that is available to anyone. All information contained on this form (including personal information) is disclosed by Lethbridge County to anyone requesting a copy in according with Lethbridge County Policy No. 173 (Freedom of Information and Protection of Privacy (FOIP)). For further information about the collection and use of this information please contact the Lethbridge County FOIP Coordinator at foip@lethcounty.ca or call (403) 328-5525 or come into the office #100, 905-4th Avenue South, Lethbridge Alberta, T1J 4E4.

Note: Information provided or generated in this application may be considered at a public meeting.



brown okamura & associates ltd.
 Professional Surveyors
 2830 - 12th Avenue North, Lethbridge, Alberta T1H 5J9

APPROVED	DRAWN	CIB	DATE
	CHECKED	TCP	MARCH 1/23
	SCALE		JOB 23-15885
			DRAWING 23-15885SK

T. C. Penner, A.L.S. 1:1000

TIMOTHY & YOLANDA SMITH

SKETCH PLAN SHOWING PROPOSED
 ROAD CLOSURE & CONSOLIDATION
 of
 LOTS 7 & 8; BLOCK 6; PLAN 831 0792
 LOTS 1 to 3 & 7 & 9 INCLUSIVE; BLOCK 6; PLAN 831 0792
 LOT 6; BLOCK 4; PLAN 6481 D.I.;
 and part of
 4th STREET EAST & LANE; BLOCK 4; PLAN 6481 D.I.;
 4th STREET EAST & LANE; BLOCK 6; PLAN 6481 D.I.;
 within
 N.W.1/4 SEC. 21; TWP. 11; RGE. 20; W.4 M.
 LETHBRIDGE COUNTY

NO.	REVISION	DATE	BY

NOTE : Portion to be approved is outlined thus
 and contains approximately 1.475 ha.
 Distances are in metres and decimal parts thereof.

Distances and areas are approximate and are
 subject to change upon final survey.

Hilary Janzen

From: Yolanda Reimer <yolandareimer@gmail.com>
Sent: March 1, 2023 9:57 AM
To: Hilary Janzen
Subject: Fwd: Note from adjacent land owner

----- Forwarded message -----

From: Timothy Smith <timothydanielsmith94@gmail.com>
Date: Thu., Feb. 16, 2023, 12:47 p.m.
Subject: Fwd:
To: Yoli babe <yolandareimer@gmail.com>

----- Forwarded message -----

From: Abe Wall <abrahamironsprings@gmail.com>
Date: Thu., Feb. 16, 2023, 12:46 p.m.
Subject:
To: <Timothydanielsmith94@gmail.com>

hi this is abe wall I live at 102 3rd st east iron springs and I'm writing this email here on behalf of Tim Smith for him to be able to buy the land in the back alley. I have no interest in buying it so from my side he can buy it.

LETHBRIDGE COUNTY
 #100, 905 - 4 AVENUE SOUTH
 LETHBRIDGE, ALBERTA
 T1J 4E4
 TELEPHONE: (403) 328-5525
 FAX: (403) 328-5602
 O F F I C I A L R E C E I P T

SMITH, TIMOTHY D. & YOLANDA REIMER
 PO BOX 22
 IRON SPRINGS AB T0K 1G0
 CANADA

GST Reg. #: R106989023
 Receipt #: 0342398
 Date: 2023/02/28

Account #	Description	Opening Bal	Payment	Amount Due
AR07389	ROAD CLOSURE	1,497.12	1,497.12	.00
** Payment Total:			1,497.12	

INTERAC

Interac Debit Card

1,497.12

There was a small
 credit on acct

Muthe



AGENDA ITEM REPORT



Title: Bylaw 24-010 - Re-designate a portion of SE 3-9-20-W4 (3.3 acre area) from Urban Fringe to Direct Control- First Reading
Meeting: Council Meeting - 20 Jun 2024
Department: Development & Infrastructure
Report Author: Hilary Janzen

APPROVAL(S):

Devon Thiele, Director, Development & Infrastructure
Cole Beck, Chief Administrative Officer

Approved - 04 Jun 2024
Approved - 04 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

An application has been made to re-designate portion of SE 3-9-20-W4 (3.3 acre area) from Urban Fringe to Direct Control.

RECOMMENDATION:

That Bylaw 24-010 be read a first time.

REASON(S) FOR RECOMMENDATION(S):

First reading of Bylaw 24-010 will allow County Administration to set the date for the Public Hearing and send out the notices for the proposed bylaw.

PREVIOUS COUNCIL DIRECTION / POLICY:

The Municipal Development Plan policy 4.13 states that landowners/developers may apply to Lethbridge County to initiate a re-designation process for parcels of land in support of development proposals that may not conform to the existing land use designation.

BACKGROUND INFORMATION:

An application has been made to re-designate a 3.3 acres area in the SE 3-9-20-W4 Urban Fringe to Direct Control. The intent of this application is to allow for an existing consulting firm to expand from a home occupation to a full scale business.

The application has been circulated to all County Departments and external agencies for review and their comments as well as any planning/strategic planning considerations will be presented at the public hearing. It is anticipated that the public hearing will be held in July-August 2024

ALTERNATIVES / PROS / CONS:

County Council may refuse first reading of the Bylaw. Refusing the bylaw would be contrary to legal advice which as been that first reading of the bylaw shall be given as the applicant and the public have the right to attend and speak at a public hearing which is set upon first reading of the bylaw. The public hearing process allows County Council the opportunity to hear all positions (in favour and opposed) on the bylaw and make an informed decision. If first reading of the bylaw is not given the applicant could appeal that decision to the Alberta Court of Appeal.

FINANCIAL IMPACT:

If the bylaw was approved, future development would be taxed at the County's commercial tax rate.

LEVEL OF PUBLIC PARTICIPATION:

- Inform Consult Involve Collaborate Empower

ATTACHMENTS:

- [Bylaw 24-010 - Rezoning Application](#)
- [Bylaw 24-010 - Circulation Map](#)
- [Bylaw 24-010 - Douglas Bergen- Amendment to LUB](#)



LETHBRIDGE COUNTY
APPLICATION FOR A
LAND USE BYLAW AMENDMENT
 Pursuant to Bylaw No. 1404

Form C

OFFICE USE		
Date of Application: <u>March 18, 2024</u>	Assigned Bylaw	No. <u>24-010</u>
Date Deemed Complete: <u>March 26, 2024</u>	Application & Processing Fee:	\$ <u>2000.00</u>
Redesignation <input checked="" type="checkbox"/> Text Amendment <input type="checkbox"/> <u>Direct Control</u>	Certificate of Title Submitted:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

A refusal is **not** appealable and a subsequent application for amendment involving the same lot and/or the same or similar use may not be made for at least 18 months after the date of refusal. (Refer to sections 53(1))

IMPORTANT NOTE: Although the Supervisor of Planning and Development is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as official consent.

APPLICANT INFORMATION

Name of Applicant: Douglas Bergen

Mailing Address: PO Box 1667 Phone: 403-345-2116
Coaldale, AB Phone (alternate): _____
 _____ Fax: 403-345-2125

Postal Code: T1M 1N3

Is the applicant the owner of the property? Yes No
 IF "NO" please complete box below

Name of Owner: _____	Phone: _____
Mailing Address: _____	Applicant's interest in the property: <input type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input type="checkbox"/> Other _____

Postal Code: _____	

PROPERTY INFORMATION

Municipal Address: 202030 Hwy 512

Legal Description: Lot(s) _____ Block _____ Plan _____
 OR Quarter SE 1/4 Section 3 Township 9 Range 20 W4
Portonof

AMENDMENT INFORMATION

What is the proposed amendment?

Text Amendment

Land Use Redesignation

IF TEXT AMENDMENT:

For text amendments, attach a description including:

- The section to be amended;
- The change(s) to the text; and
- Reasons for the change(s).

IF LAND USE REDESIGNATION:

Current Land Use Designation (zoning):

Rural Urban Fringe

Proposed Land Use Designation (zoning) (if applicable):

Direct Control

SITE DESCRIPTION:

Describe the **lot/parcel dimensions** _____ and **lot area/parcel acreage** _____
Indicate the information on a scaled PLOT or SITE PLAN: (0-4 acres at 1" = 20'; 5-9 acres at 1"= 100'; 10 acres or more at 1"=200')

Site or Plot Plan Attached

Conceptual Design Scheme or Area Structure Plan Attached

OTHER INFORMATION:

Section 52 of the *Land Use Bylaw* regulates the information required to accompany an application for redesignation. Please **attach a descriptive narrative** detailing:

- The existing and proposed future land use(s) (i.e. details of the proposed development);
- If and how the proposed redesignation is consistent with applicable statutory plans;
- The compatibility of the proposal with surrounding uses and zoning;
- The development suitability or potential of the site, including identification of any constraints and/or hazard areas (e.g. easements, soil conditions, topography, drainage, etc.);
- Availability of facilities and services (sewage disposal, domestic water, gas, electricity, fire protection, schools, etc.) to serve the subject property while maintaining adequate levels of service to existing development; and
- Access and egress from the parcel and any potential impacts on public roads.

In addition to the descriptive narrative, an Area Structure Plan or Conceptual Design Scheme may be required in conjunction with this application where:

- redesignating land to another district;
- multiple parcels of land are involved;
- four or more lots could be created;
- several pieces of fragmented land are adjacent to the proposal;
- new internal public roads would be required;
- municipal services would need to be extended; or
- required by Council, or the Subdivision or Development Authority if applicable.

The applicant may also be required to provide other professional reports, such as a:

- geotechnical report; and/or
 - soils analysis; and/or
 - evaluation of surface drainage or a detailed storm water management plan;
 - and any other information described in section 52(2) or as deemed necessary to make an informed evaluation of the suitability of the site in relation to the proposed use;
- if deemed necessary.

SITE PLAN

Plans and drawings, in sufficient detail to enable adequate consideration of the application, must be submitted in **duplicate** with this application, together with a plan sufficient to identify the land. It is desirable that the plans and drawings should be on a scale appropriate to the development. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared. Council may request additional information.

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application. *I/We have read and understand the terms noted below and hereby certify that the registered owner of the land is aware of, and in agreement with this application.*



APPLICANT

REGISTERED OWNER
(if not the same as applicant)

DATE: 03/04/24

IMPORTANT: This information may also be shared with appropriate government/ other agencies and may also be kept on file by the agencies. This information may also be used by and for any or all municipal programs and services. Information provided in this application may be considered at a public meeting. The application and related file content will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact Lethbridge County.

TERMS

1. Subject to the provisions of the Land Use Bylaw No. 1404 of Lethbridge County, the term "development" includes any change in the use, or intensity of use, of buildings or land.
2. Pursuant to the municipal development plan, an area structure plan or conceptual design scheme may be required by Council before a decision is made.
3. A refusal is not appealable and a subsequent application for redesignation (reclassification) involving the same or similar lot and/or for the same or similar use may not be made for at least 18 months after the date of a refusal.
4. An approved redesignation (reclassification) shall be finalized by amending the land use bylaw map in accordance with section 692 of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26.

Note: Information provided or generated in this application may be considered at a public meeting.

Descriptive Narrative
Proposed Direct Control Reclassification
of a portion of SE ¼ 3-9-20 W4

LAND USE

The firm of Douglas J. Bergen & Associates has resided in Lethbridge County for 30 years. Lisa and I have raised 5 children on the property and consider it a great privilege to live in the County. We have always been respectful of our agricultural environment and supported our neighbours when they needed help.

With our son, Grantham, graduating with his degree in architecture in 2025 we are looking to expand our operation to include more staff.

We have outgrown the home occupation category relative to the Land Use Bylaw and therefore are applying for a Direct Control designation to the area immediately around our current office building. This reclassification will give us the opportunity to carry on our family legacy in the County. The Direct Control designation provides the County with assurance that we limit our operation to consulting as opposed to a more impactful use.

COMPATIBILITY

The current zoning for our parcel is Urban Fringe. Several similar home occupations/small businesses operate in the Urban Fringe of Coaldale. Our consulting firm has operated in this location for 30 years with no conflict with adjacent uses.

SUITABILITY

Our proposed office expansion will honor existing drainage patterns and have minimal impact to the immediate area. Existing soil conditions are in keeping with code requirements for spread footing construction.

SERVICES

Domestic water to the property is via the County of Lethbridge Rural Water Association. The proposed development is an administrative office addition which is a very low water user. Sanitary sewer will be designed and permitted to meet all government regulations. Natural gas, electricity and telephone services exist on-site and are of capacity to suit the proposed use.

ACCESS

Alberta Transportation has issued a permit for the proposed use. No additional access to public roadways are required.

SCHEDULE A

DIRECT CONTROL

1. PURPOSE

To provide a means whereby Council may regulate and control the use, development, or subdivision on a site specific basis the following lands:

SE ¼-3-9-20-W4

For the specific purposes of allowing an existing consulting firm to expand in order to maintain a viable operation.

2. USES

Accessory Building/Structures to the listed Permitted Uses
Free Standing Signage (Signs)
Office/ Administration Building
Professional Services

3. DEFINITIONS

All words or terms have the same meaning as what is specified in the Land Use Bylaw.

4. MINIMUM LOT SIZE

The minimum lot size shall be 1.34 hectares. (3.31 acres)

5. MINIMUM YARD SETBACK REQUIREMENTS

Side and Rear Yard Setbacks - 6.1 meters (20 feet)

Front Yard (Highway 512)

- 39.522 meters (129 feet – 8 inches) from the centerline of HWY 512 as per Development Permit #2024-022

6. ACCESSORY BUILDINGS AND STRUCTURES

- Accessory buildings or structures shall not be located within a required setback as identified in section 5 or on as easement.
- An accessory building or structure shall only be constructed after or in conjunction with an approved principal use or building on the parcel.

7. GENERAL STANDARDS OF DEVELOPMENT

At the discretion of Council or the Development Officer acting as the Development Authority having regard for the Lethbridge County Land Use Bylaw.

8. SIGN REGULATIONS

As per the Lethbridge County Land Use Bylaw.

9. OTHER STANDARDS

- All finished lot grading shall be constructed and maintained to the satisfaction of the Lethbridge County and shall be in accordance with the Engineering Guidelines and Minimum Servicing Standards.
- Approaches and driveway access shall be maintained in the existing pre-approved condition.
- Parking for the parcel will be as per the submitted site plan.
- Any additional standards as required by Council or the Development Officer acting as the Development Authority.

10. OTHER REQUIREMENTS

- Site, Layout, and Grading Plan – that shows the property dimensions, building locations, parking areas, and utility easements and servicing areas, including the septic field location, and dugouts/storm ponds.
- Refuse or solid waste shall be kept in a suitably sized container or enclosure, and the refuse containers shall be located in a read yard only.
- Servicing – the developer shall be responsible for ensuring all required servicing is provided to the development, including potable water and private septic. If an on-site private septic treatment system is used to handle sewage disposal, then the system and field must be installed by a certified installer licensed with the provincial department of Municipal Affairs.
 - Parking and storage are prohibited from being located over any of the septic system including the disposal field area.
- Development Agreement – the developer may be required to enter into a development agreement to satisfy any requirements or standards as stipulated by the County.

11. SUBDIVISION

Council, acting in the capacity of the Subdivision Authority, shall make decisions on any future subdivision applications.

12. DELEGATION OF AUTHORITY

- The Development Officer, in accordance with the Land Use Bylaw (Bylaw 24-007) Part 1 Section 36, under the direction of County Council, shall act as the Development Authority and receive and decide upon development permit applications provided they conform to the standards of this Bylaw.
- County Council shall be the Development Authority to decide on Development Permit Application requiring a waiver of the development standards.

13. APPROVAL PROCEDURE

- Where the Development Officer, as the Development Authority has been delegated, the Authority to decide upon Development Permit Applications, then immediately upon issuance of the Development Permit, the Development Officer shall cause a notice to be published in a newspaper circulating in the area stating the location of the property for which the Application has been made and the Use approved.
- Before consideration of a Permit Application for Developing requiring waivers on the subject property, Council shall:

- Cause a notice to be issued by the designated officer to any person likely to be affected.
- Ensure that the notice contains the date and time that Council will hear the Application for waivers of development standards.
- Hear any persons that claims to be affected by the decision on the Application.
- Council may then approve the Development Application with or without conditions or refuse the Application with reasons.
- Where Council has made the decision on a Development Permit Application, the Development Officer acting on behalf of Council, shall cause a notice of the decision to be issued to the applicant and post a copy of the decision in the lobby of the County Office.
- When applicable, Council should seek comments from other agencies such as the Planning Advisor, Regional Health Authority, Alberta Transportation and Economic Corridors, or any applicable Provincial Government department.

14. APPEAL PROCEDURE

- Pursuant to Section 685(4)(a) of the Municipal Government Act, if a decision with respect to a Development Permit Application is made by Council, there is no appeal to the Subdivision and Development Appeal Board.
- Pursuant to Section 685(4)(b) of the Municipal Government Act, if the Development Officer has been delegated, the Authority to decide upon Development Permit Applications as the Development Authority, then the appeal to the Subdivision Appeal Board is limited to whether the Development Officer followed the directions of Council.

Bylaw 24-010

3

SE3-9-20-4

HWY 845

HWY 512

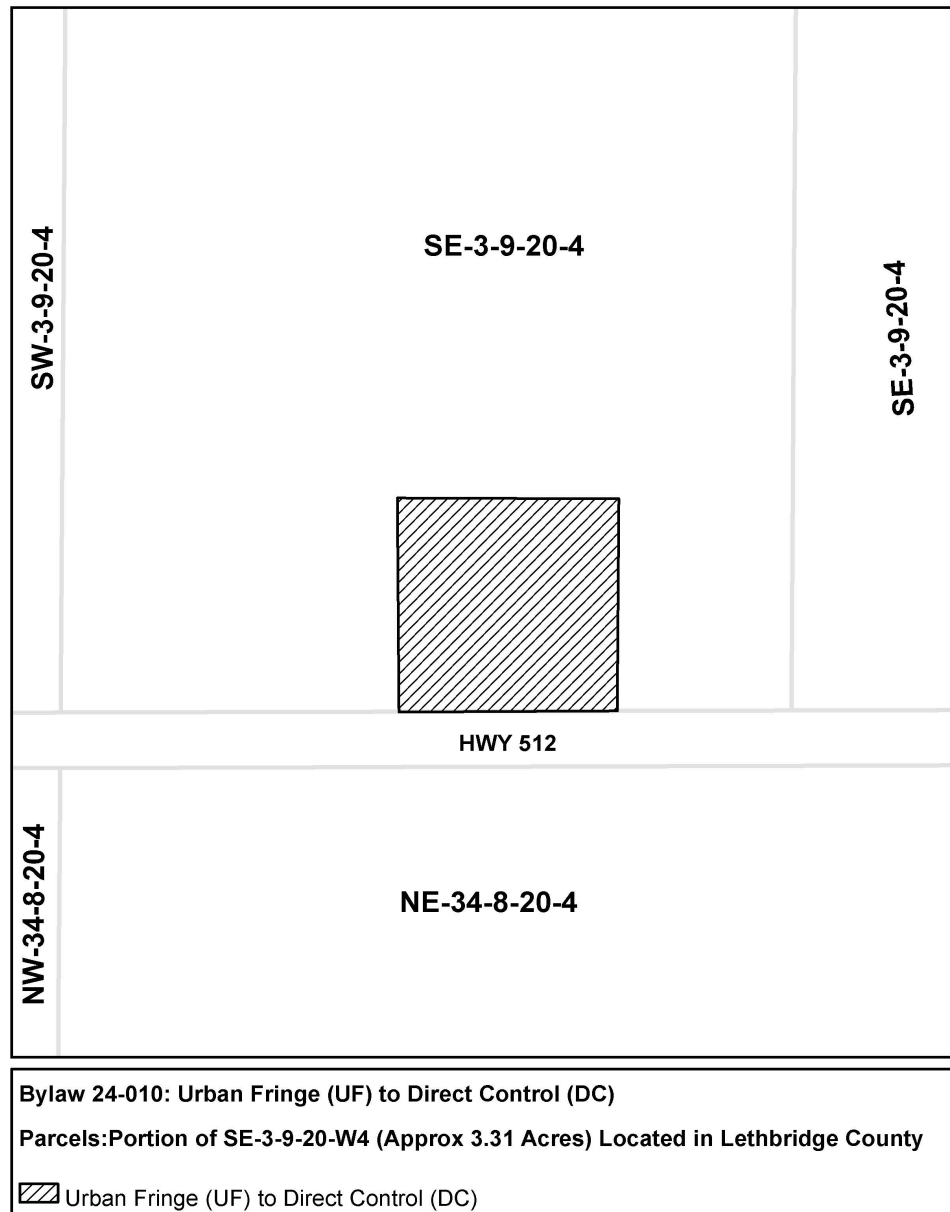
Area of Rezoning - Rural Urban Fringe to Direct Control

**LETHBRIDGE COUNTY
IN THE PROVINCE OF ALBERTA**

BYLAW NO. 24-010

Bylaw 24-010 of Lethbridge County being a bylaw for the purpose of amending Land Use Bylaw 24-007, in accordance with Sections 230, 606 and 692 of the Municipal Government Act, R.S.A. 2000, Chapter M-26.

WHEREAS the purpose of Bylaw 24-0010 is to re-designate that portion of SE 3-9-20-W4, as shown on the sketch below, from Urban Fringe (UF) to Direct Control (D.C.);



AND WHEREAS the purpose of proposed Bylaw 24-010 is to establish the uses and regulations for a Direct Control district pertaining to the aforementioned land and are as described in Schedule "A" attached hereto;

AND WHEREAS policies in the Municipal Development Plan Bylaw No 22-001 refer to the Direct Control Designation being used by Council to regulate land use;

AND WHEREAS once an application has been submitted the municipality must prepare an amending bylaw and provide for its notification and consideration at a public hearing;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following, with the bylaw only coming into effect upon three successful reading thereof;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following:

1. The uses and regulations for the Direct Control District shall be as described in Schedule "A" attached hereto and be applied to the lands described above and identified on the above map.
2. Bylaw No 24-007 – The Land Use Bylaw of Lethbridge County is hereby amended.
3. The Bylaw shall come into effect upon third and final reading hereof.

GIVEN first reading this 20th day of June 2024.

Reeve

Chief Administrative Officer

GIVEN second reading this _____ day of _____, 20__.

Reeve

Chief Administrative Officer

GIVEN third reading this _____ day of _____, 20__.

Reeve

Chief Administrative Officer

1 st Reading	June 20, 2024
2 nd Reading	
Public Hearing	
3 rd Reading	

SCHEDULE A
DIRECT CONTROL

1. PURPOSE

To provide a means whereby Council may regulate and control the use, development, or subdivision on a site-specific basis the following lands:

SE ¼-3-9-20-W4

For the specific purposes of allowing an existing consulting firm to expand to maintain a viable operation.

2. USES

Accessory Building/Structures to the listed Uses
Free Standing Signage (Signs)
Office/ Administration
Professional Services

3. DEFINITIONS

All words or terms have the same meaning as what is specified in the Land Use Bylaw.

4. MINIMUM LOT SIZE

The minimum lot size shall be 1.34 hectares. (3.31 acres)

5. MINIMUM YARD SETBACK REQUIREMENTS

Side and Rear Yard Setbacks - 6.1 meters (20 feet)

Front Yard (Highway 512)

- 39.522 meters (129 feet – 8 inches) from the centerline of HWY 512 as per Development Permit #2024-022

6. ACCESSORY BUILDINGS AND STRUCTURES

- Accessory buildings or structures shall not be located within a required setback as identified in section 5 or on an easement.
- An accessory building or structure shall only be constructed after or in conjunction with an approved principal use or building on the parcel.

7. GENERAL STANDARDS OF DEVELOPMENT

At the discretion of County Council or the Development Planner acting as the Development Authority having regard for the Lethbridge County Land Use Bylaw.

8. SIGN REGULATIONS

As per the Lethbridge County Land Use Bylaw.

9. OTHER STANDARDS

- All finished lot grading shall be constructed and maintained to the satisfaction of the Lethbridge County and shall be in accordance with the Engineering Guidelines and Minimum Servicing Standards.
- Approaches and driveway access shall be maintained in the existing pre-approved condition.

- Parking for the parcel will be as per the submitted site plan.
- Any additional standards as required by Council or the Development Officer acting as the Development Authority.

10. OTHER REQUIREMENTS

- Site, Layout, and Grading Plan – that shows the property dimensions, building locations, parking areas, and utility easements and servicing areas, including the septic field location, and dugouts/storm ponds.
- Refuse or solid waste shall be kept in a suitably sized container or enclosure, and the refuse containers shall be located in a read yard only.
- Servicing – the developer shall be responsible for ensuring all required servicing is provided to the development, including potable water and private septic. If an on-site private septic treatment system is used to handle sewage disposal, then the system and field must be installed by a certified installer licensed with the provincial department of Municipal Affairs.
 - Parking and storage are prohibited from being located over any of the septic system including the disposal field area.
- Development Agreement – the developer may be required to enter into a development agreement to satisfy any requirements or standards as stipulated by the County.

11. SUBDIVISION

- Subdivision of the parcel will be limited to the area zoned Direct Control. Any further subdivision of the larger parcel shall follow the follow the policies of the Lethbridge County Municipal Development Plan and the Lethbridge County Land Use Bylaw – Subdivision Criteria.
- County Council, acting in the capacity of the Subdivision Authority, shall make decisions on any future subdivision applications.

12. DELEGATION OF AUTHORITY

- The Development Planner, in accordance with the Land Use Bylaw (Bylaw 24-007) Part 1 Section 36, under the direction of County Council, shall act as the Development Authority and receive and decide upon development permit applications provided, they conform to the standards of this Bylaw.
- County Council shall be the Development Authority to decide on Development Permit Application requiring a waiver of the development standards.

13. APPROVAL PROCEDURE

- Where the Development Planner, as the Development Authority has been delegated, the Authority to decide upon Development Permit Applications, then immediately upon issuance of the Development Permit, the Development Planner shall cause a notice to be published in a newspaper circulating in the area stating the location of the property for which the Application has been made and the Use approved.
- Before consideration of a Permit Application for Developing requiring waivers on the subject property, Council shall:
 - Cause a notice to be issued by the designated officer to any person likely to be affected.
 - Ensure that the notice contains the date and time that Council will hear the Application for waivers of development standards.
 - Hear any persons that claims to be affected by the decision on the Application.
- Council may then approve the Development Application with or without conditions or refuse the Application with reasons.

- Where Council has made the decision on a Development Permit Application, the Development Officer acting on behalf of Council, shall cause a notice of the decision to be issued to the applicant and post a copy of the decision in the lobby of the County Office.
- When applicable, Council should seek comments from other agencies such as the Planning Advisor, Regional Health Authority, Alberta Transportation and Economic Corridors, or any applicable Provincial Government department.

14. APPEAL PROCEDURE

- Pursuant to Section 685(4)(a) of the Municipal Government Act, if a decision with respect to a Development Permit Application is made by Council, there is no appeal to the Subdivision and Development Appeal Board.
- Pursuant to Section 685(4)(b) of the Municipal Government Act, if the Development Officer has been delegated, the Authority to decide upon Development Permit Applications as the Development Authority, then the appeal to the Subdivision Appeal Board is limited to whether the Development Officer followed the directions of Council.

AGENDA ITEM REPORT







Title: Bylaw 23-021 - Country Side Area Structure Plan and Bylaw 23-022 Land Use Bylaw Amendment (Urban Fringe to Grouped Country Residential and Direct Control) - First Reading
Meeting: Council Meeting - 20 Jun 2024
Department: Community Services
Report Author: Hilary Janzen

APPROVAL(S):

Devon Thiele, Director, Development & Infrastructure
Cole Beck, Chief Administrative Officer

Approved - 10 Jun 2024
Approved - 11 Jun 2024

STRATEGIC ALIGNMENT:

 Goverance	 Relationships	 Region	 Prosperity
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EXECUTIVE SUMMARY:

An application was received for the Chin Area Structure Plan (Bylaw 24-002 and to re-designate a 40 acre title in the NE 25-9-19-W4 from Urban Fringe to Grouped Country Residential and Business Light Industrial (Bylaw 24-003). This would allow for the phased subdivision of the parcels for Country Residential and Business Light Industrial uses.

RECOMMENDATION:

- That Bylaw 23-021 (Country Side ASP) be read a first time.
- That Bylaw 23-022 (Land Use Bylaw Amendment - UF to GCR and DC) be read a first time.

REASON(S) FOR RECOMMENDATION(S):

The proposed Area Structure Plan and Rezoning provide for sound development within the County.

PREVIOUS COUNCIL DIRECTION / POLICY:

- The Lethbridge County Municipal Development Plan requires that where there will be more than 4 adjacent titles that the applicant submit an Area Structure Plan for County Council consideration and that the parcels be re-designated.
- The Grouped Country Residential Land Use Strategy encourages subdivision in areas close to urban areas and where the lands are fragmented and considered poor quality agricultural lands.

BACKGROUND INFORMATION:

An application was received for the Country Side Area Structure Plan (Bylaw 23-021) and to re-designate a 40 acre area in the SE 1-9-21-W4 from Urban Fringe to Grouped Country Residential and Direct Control (Bylaw 23-022).

The Country Side Area Structure Plan provides a plan for the future subdivision and development of the subject lands in a manner that meets the County's current policies and requirements. The rezoning to Direct Control and Grouped Country Residential would allow for the subdivision of the parcels for Country Residential and Mixed Country Residential/Light Commercial Uses.

The application has been circulated to all County Departments and external agencies for review. Any comments or concerns will be presented at the Public Hearing along with the planning considerations. It is anticipated that the public hearing will be held in July-August 2024.

ALTERNATIVES / PROS / CONS:

County Council may refuse first reading of the Bylaws. Refusing the bylaws would be contrary to legal advice which has been that first reading of the bylaws shall be given as the applicant and the public have the right to attend and speak at a public hearing which is set upon first reading of the bylaws. The public hearing process allows County Council the opportunity to hear all positions (in favour and opposed) on the bylaws and make an informed decision. If first reading of the bylaws is not given, the applicant could appeal that decision to the Alberta Court of Appeal.

FINANCIAL IMPACT:

If the bylaws were approved, future development would be taxed at the County's residential and commercial/industrial tax rate. There would be additional costs to the County (i.e. maintenance of infrastructure) that would arise if the bylaws are approved.

LEVEL OF PUBLIC PARTICIPATION:

Inform Consult Involve Collaborate Empower

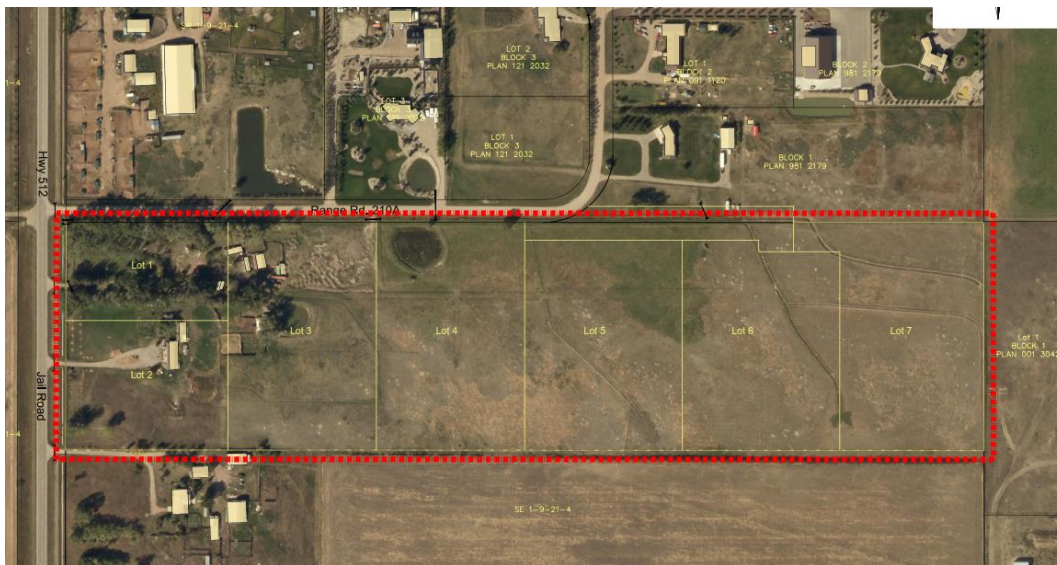
ATTACHMENTS:

- [Country Side ASP June 7, 2024](#)
- [Bylaw 23-021- Country Side- ASP](#)
- [Bylaw 23-022 - Land Use Bylaw Amendment Application](#)
- [Bylaw 23-022 - UF to DC- Amendment to LUB](#)

Country Side

AREA STRUCTURE PLAN

SE ¼ Sec. 1 - 9 - 21 -W4M

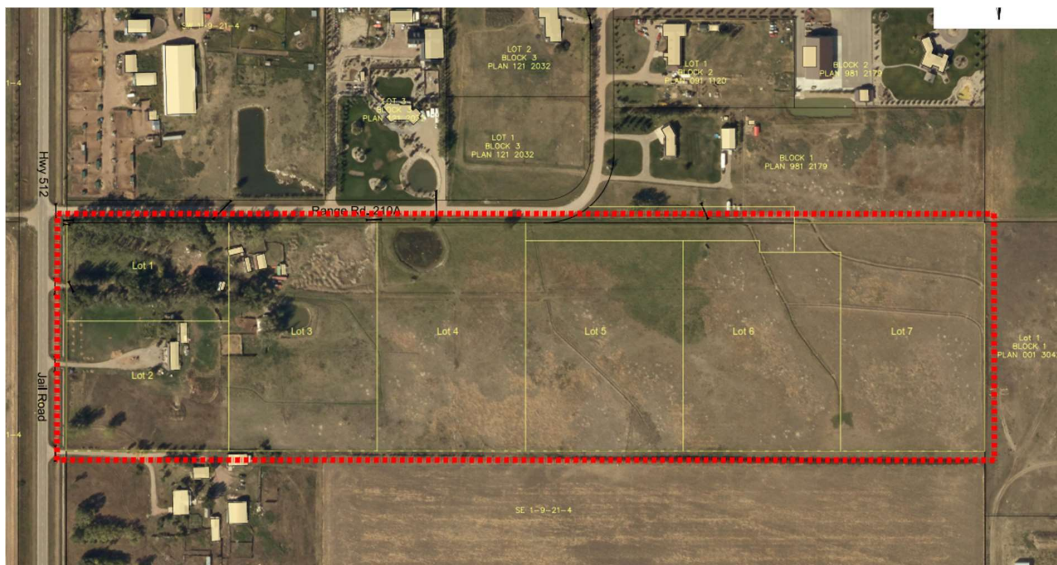


229729CE

Country Side

AREA STRUCTURE PLAN

SE ¼ Sec. 1 - 9 - 21 -W4M



Issued for Bylaw Approval May 24, 2024



229729CE

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1.0 Introduction

The purpose of the Country Side Area Structure Plan is to provide a comprehensive planning framework for development of the land within a portion of the SE ¼ Sec 1, Twp 9, Rge 21, W4M. The plan area containing 40.06 acres (16.21 ha), is within Lethbridge County and is shown in **Figure 1 –Location and Figure 2 – Existing Site Plan and Figure 3 - Aerial Photo.**

This ASP is intended to provide pertinent planning and development information to the County and its advisors that will aid in determining the future use and servicing of this development.

The overall concept for this development is to prepare a suitable site that will allow for mixed residential and light industrial uses. It is also intended that this development serve as a buffer between an existing grouped country residential development (Pater Subdivision) and proposed light industrial subdivisions. The plan is submitted for approval in accordance with provincial statutory requirement and requirements of Lethbridge County. This plan will also be used to support a land use classification pursuant to Lethbridge Country Land Use Bylaw No. 24-007.

2.0 Site Description

2.1 EXISTING LAND USES

2.1.1 COUNTRY SIDE LAND USE

The Country Side ASP site is located on the north side of Highway No 512 (Jail Road) about 4.2 km east of the Lethbridge City Limits.

The property is in the west half of the SE ¼ Sec. 1, Twp 9, Rge 21, W4M and contains about 40.05 acres. **Refer to Appendix A – Property Title.**

The subject site is currently used as irrigated farmland with the south side being heavily treed and having a residential house and numerous small accessory buildings.

This site falls within the Urban Fringe (UF) district of the County's Land Use Bylaw. The property is also included in the City/ County Intermunicipal Development Plan in Policy Area 5.

2.1.2 SURROUNDING LAND USES

a) West Boundary

Range Road 210A runs about halfway along the west property boundary. This road is gravelled and is used to provide access to the lots adjacent to the NW corner of the site, (Pater Subdivision). The Pater Subdivision contains 15 lots and is zoned Grouped Country Residential (GCR). Two large residential lots front onto the south half of Range Road 210A (Access Road). These sites are zoned UF.

b) North Boundary

The adjacent land to the north contains a large communications tower and a communal septic field. These are zoned UF. The Broxburn Industrial Park is located on the northeast side of these sites.

c) East Boundary

The land adjacent to the east boundary of the ASP site is irrigated farmland that is zoned UF.

d) South Boundary

Highway No. 512 (Jail Road) runs east/west along the south boundary of the ASP site. The land adjacent to and on the south side of the highway is used as irrigated farmland and is zoned UF.

2.1.3 REFERENCE

Refer to **Figure 3 - (Aerial Photo)** and **Figure 4 - (Land Use)**

2.2 SITE CHARACTERISTICS

- Access to the site is from a north/ south gravel road (Rge. Road 210A) along the west property boundary leading from Highway 512.
- There is a buried Telus line along the east boundary. As well, there are buried lines adjacent to the property line on the east and north side.
- SMRID has a buried irrigation line along the south boundary of the ASP site and adjacent to the west property boundary of the ASP site. Turnouts are located in both the SW and SE corners of the site.
- Over 20 existing residential dwellings are within 800m of the subject site.
- The south westerly corner of the site is heavily covered with larger trees.
- The County of Lethbridge Water Co-op currently has 2 water services to the property.
- One residential dwelling is located in the south easterly portion of the site. The current intention is to leave this house in place.
- Numerous small accessory buildings are located along the south side of the site.

2.3 TOPOGRAPHY

The site is relatively flat with an average slope of 0.35% dropping from the southwest to the northeast. The high point elevation in the southwest corner of the existing north/south access road is 900.0. The low point in the northeast corner of the site has an elevation of 897.4 Along the east property line there is a caragana hedge running north/south. This hedge has resulted in a natural berm of blow dirt between 0.3 m and 0.7 m high. This has resulted in existing surface drainage being accommodated mainly by infiltration and evaporation. Refer to **Figure 2 – Existing Site Plan** and **Figure 3- Aerial Photo**.

2.4 HABITAT AND VEGETATION

The plan area consists mainly of irrigated farmland with large trees in the SW corner.

3.0 Planning Framework

3.1 SOUTH SASKATCHEWAN REGIONAL PLAN

This ASP aims to follow the Alberta Government South Saskatchewan Regional Plan (SSRP) 2014 – 2024, Amended February 2017.

Strategic Outcomes of the SSRP aligned with this ASP include: sustainable development wherein economic development takes into account environmental sustainability and social outcomes, conserving and maintaining the benefits of biodiversity, advancing watershed management, promoting efficient use of land, and strengthening communities.

3.2 MUNICIPAL GOVERNMENT ACT

Country Side Area Structure Plan has been produced in accordance with **Section 633** of the Municipal Government Act. It is the intention of this plan to create a framework for the development of a portion of SW. ¼ Sec. 1, Twp 9, Rge 21, W4M into country residential uses with the ability to allow for limited light industrial uses.

3.3 LETHBRIDGE COUNTY, GROUPED COUNTRY RESIDENTIAL (GCR) LAND USE STRATEGY

The main purpose of the above strategy is the identification of suitable sites for GCR developments.

Although we are seeking a combination of Direct Control and GCR zoning, the site is basically going to be used to provide modified country residential lots that will have the ability for increased light industrial uses.

The development meets the following criteria for GCR uses:

- The site consists of a fragmented parcel
- The site is immediately adjacent to the Pater subdivision (15 lots) and may be considered as the continuation of this development
- There are about 30 existing residential dwelling in the SW ¼ of Sec. 1 Twp 9, Rge 21.
- The site has a low capability for agricultural production
- The site has direct access to highway 512
- The site will have the ability to provide potable water, irrigation water, sanitary sewage, treatment capabilities, electric and gas.
- This site is situated on fragmented, poorer agricultural land.

3.4 CITY/COUNTY INTERMUNICIPAL DEVELOPMENT PLAN (IMDP)

This plan is located in Policy Area 4, Sub-Area 3b and generally follows the policies for Sub-Area 3b which recognizes a shift from strictly agricultural uses.

The IMDP states “This area is somewhat fragmented and consists of some historical subdivisions. This area is recognized as an important development node for the county. The fragmented areas off of Highway 3 may be suitable for re-subdivision and infill development with appropriate planning.”

This ASP helps accommodate the IMDP policy by enabling light industrial growth that is separated from residential growth through proper planning.

3.5 LETHBRIDGE COUNTY MUNICIPAL DEVELOPMENT PLAN

The Country Side ASP aims to follow the Lethbridge County Municipal Development Plan (MDP) Bylaw No. 22-001.

The MDP outlines specific requirements necessary for residential development in Lethbridge County. Based on these requirements this ASP sets the stage for the proposed development.

Part 4, Sec. 4 - Land Use and Development Requirements of the MDP, outlines specific requirements in order that land in the County is properly planned and serviced based on the proposed use. This ASP and Land Use request is compatible with these detailed prerequisites for ASP's, land use re-designation, geotechnical and soil reports.

This ASP has been designed such that the requirements of the MDP that are outlined in **Part 4 Sec. 4 - Plan Policies; Sec. 5 - Subdivision and Sec. 6 - General Residential Land Use**, can be met when the development is ready for subdivision. The detailed design will be required to confirm as closely as possible to the policies in **Sec. 11 - Infrastructure and Servicing** and with the County's requirements in “Engineering Guidelines and Minimum Servicing Standards”.

This ASP has endeavored to meet the requirements as detailed in **Part 4, Sec. 8 - Grouped Country Residential** and the appropriate polices in **Section 10 – Industrial & Commercial Land Use**. Particularly the criteria for siting, servicing, roadways and fire suppression have generally been met. Notwithstanding these requirements, the source of potable water has not yet been finalized. The ASP presents three alternatives for the potable water supply. The developer currently has two water units from the Water Co-op and is endeavoring to obtain additional water units through the co-op. The water source must be finalized and approved by Lethbridge County.

The Grouped Country Residential Land Use District (GCR) is intended to provide for a high quality clustered residential development in areas where no conflict to agriculture can be anticipated pursuant to the municipal development plan.

The minimum lot size is 2 acres (0.8 ha) to facilitate on-site sewage disposal systems.

The Grouped Country Residential (GCR) and the Direct Control land uses will be designed to provide for a high quality, clustered residential development in conjunction with compatible light industrial uses that will provide a buffer between future industrial and current residential uses.

3.6 COUNTY LAND USE BYLAW

The requirements of Land Use By- Law No. 24-007 for residential and industrial uses will be selectively combined to provide a Direct Control land use that enhances and buffers the residential development through proper building siting, intensive landscaping and permitted light industrial uses.

The current land use districts do not provide for mixed residential and light industrial uses. To allow for this combination of uses, a Direct Control Bylaw is being proposed. This Direct Control Bylaw allows for this and provides specific requirements that are specifically focused on these mixed uses. These will help ensure successful developments that will benefit the future residents and existing neighboring properties.

The two sites on the south end of the development will not have an industrial use and will be designated as Grouped Country Residential.

3.7 LETHBRIDGE COUNTY'S INDUSTRIAL- COMMERCIAL LAND USE STRATEGY

The Lethbridge County's Industrial – Commercial Land Use Strategy 2023 Update, identifies the Country Side ASP site as a “Prospective – Future Mixed-Use Residential and/ or Light Industrial growth site. The land immediately adjacent to the east boundary, is identified as a “Prospective – Future Light Industrial or Commercial” growth area.

This ASP proposes a transitional use for the Country Side development; providing a mixed use residential and light industrial site in accordance with the County's Industrial- Commercial Land Use Strategy. Its use has the potential to help maximize the opportunities for industrial/ commercial growth on the lands to the east, with minimum concerns being raised by the neighbors, particularly from the adjacent Pater subdivision. The provision of opportunities for light industrial in conjunction with residential and increased home occupation use will serve to enhance the goals of the Country's Industrial – Commercial strategy.

These land uses will also serve as a catalyst for increased industrial growth.

4.0 Plan Goals, Objectives and Land Use

4.1 PLAN GOALS

The Country Side Area Structure Plan will respond to the needs, issues and requirements identified by the owners, Lethbridge County as well as those agencies and organizations having an interest in the planning of this area.

The goals of this Area Structure Plan follow the planning policies outlined through the legislative framework.

When adopted by the Lethbridge County Council, this Area Structure Plan will create the framework for subdividing and developing the subject property.

This document will function as the required plan and as such will outline:

- conceptual land use,
- conceptual lot layout,
- the road access and circulation,
- the location of public utilities,
- supply of irrigation water,
- supply of potable water,
- sanitary sewage disposal,
- drainage and stormwater management,
- landscaping
- other related matters.

4.2 PLAN OBJECTIVES

This ASP will adhere to the following objectives:

- Create two residential lots, having a minimum area of 2 acres along the south boundary.
- Create additional lots for residential use and the ability to also use each of these lots for light industrial purposes.
- Develop a Direct Control zoning to ensure the compatibility of the residential and industrial land uses through proper siting of buildings and landscaping.
- Consider alternatives for road access and traffic compatibility with the adjacent Pater Subdivision lots.
- Design drainage and storm water management system for the planned development.
- Investigate the sustainability of on-site septic systems for wastewater treatment and disposal
- Plan for a communal irrigation system
- Identify electrical and gas requirements.

4.3 PROPOSED LAND USES AND ZONING

4.3.1 GROUPED COUNTRY RESIDENTIAL (GCR)

The southerly portion of the ASP site is heavily treed and has an existing house on it. This makes the site ideal for residential use. As such, the ASP proposes to zone this for a Grouped Country Residential (GCR) use with the area divided into 2 lots. The westerly lot is planned with 3.0 acres and the easterly lot will be 3.9 acres. **Figure 4 –Land Use.**

4.3.2 DIRECT CONTROL

The balance of the site will be divided into 5 lots with about 6 acres each these lots will be zoned Direct Control (DC).

In conjunction with DC zoning a Direct Control Bylaw is being adopted. This DC Bylaw will have standards and rules applicable to land use and development. These standards will address items such as Permitted and Discretionary uses, lot size access, site drainage & grading, building size & siting requirements and landscaping.

The purpose of these lots and the DC zoning is to provide a buffer between the Grouped Country Residential uses on the Pater Subdivision and the proposed future land uses on the east side of the ASP site. The front portion of each lot will provide for residential uses, while the balance of the lot will allow for specified light industrial uses. This provides an opportunity for the residents to live and work on the same lot. The DC zoning will also provide an increase in Home Occupations that can be carried out on each lot. Landscaping, consisting of two rows of trees will provide screening between the two land uses. **Figure 4 –Land Use.**

4.4 ACCESSORY BUILDINGS

With the DC zoning, accessory buildings under 3000 sq ft will be allowed for residential uses in the front portion of the lots. Accessory buildings up to 12,000 sq ft will be permitted at the back of the lots. These shall be behind any residential development with extensive landscaping separating the residential and light industrial portion of the lots. There will be set back requirements in the DC land use for the residential dwellings and for accessory building. Intensive landscaping will be required for each lot. The maximum size of all accessory buildings, located in the industrial portion of the lot, shall be no more than 12,000 sq. ft.

The building siting and landscape requirements will help provide a buffer between the Pater subdivision and the future industrial uses east of the ASP site. These requirements will also provide adequate screening between the residential and light industrial uses on each lot. Refer to **Figure 5 – Conceptual Lot Layout and Setbacks.**

4.5 DENSITY AND POPULATION

The housing density within the proposed development is comprised of 7 lots or 5.65 lots per acre (2.28 lots/ ha).

Based on an average of 3.5 persons per household, the population within the plan area is estimated to be approximately 25 people.

4.6 MUNICIPAL RESERVE REQUIREMENTS

Cash-in-lieu of 10% of the land value will be paid to the County for Municipal Reserve purposes.

5.0 Services

5.1 POTABLE WATER SUPPLY AND DISTRIBUTION

It is envisioned that the domestic potable water requirements for the subdivision will be met by one of the following alternatives or by a combination of these alternatives.

5.1.1 POTABLE WATER SUPPLY, ALTERNATIVE 1

The first alternative is to have the water supplied by the County of Lethbridge Rural Water Association via extensions from an existing potable water pipe running through the site. Each lot will be supplied with a trickle system to fill individual cisterns. The Water Co-op is in the process of finalizing their water supply plans for this area. The ASP site currently has water rights from the Co-op for two lots, which will be used to service the two Country Residential lots. Two additional units will most likely be available but the ASP must be approved first. It is anticipated that the three remaining lots will get Co-op water, but this has not yet been finalized. Easements will be provided on all lots to allow for future Co-op supplied water.

5.1.2 POTABLE WATER SUPPLY, ALTERNATIVE 2

The second alternative is to use SMRID supplied irrigation water that will be treated as required by each individual lot owner. The feasibility of this alternative will be determined as required and must be approved by Lethbridge County. SMRID approval for the supply of water is also required.

5.1.3 POTABLE WATER SUPPLY, ALTERNATIVE 3

At the discretion of Lethbridge County, potable water will be hauled to individual cisterns on each lot.

5.1.4 DETERMINATION OF FINAL POTABLE WATER SOURCES

The final method of water supply will be dependent on the Water Co-op's final plans and the costs associated with each of the alternatives. The ultimate method of supply could be by a combination of these alternatives which would be subject to Lethbridge County administrative approval.

5.1.5 GOVERNMENT REQUIREMENTS

The water supply and cisterns will be installed in accordance with requirements of the Chinook Health Region, the Safety Codes Council of Alberta and Lethbridge County.

5.1.6 HOME OWNER ASSOCIATION

The potable water and irrigation systems will not be taken over by Lethbridge County. A separate entity will be created to manage these facilities. The entity and management requirements shall be approved by Lethbridge County.

5.2 SEWAGE TREATMENT AND DISPOSAL

5.2.1 SOILS

Two test pits were excavated by “Southland Contractors Inc.” with “Down to Earth Labs” providing tests on soil samples from the pits. The soil was determined to contain mainly clay at one location and clay loam with sand lenses at the other pit.

5.2.2 INDIVIDUAL LOT REQUIREMENTS

- Southland Contractors evaluated the soil from the test pits and have determined that the site will support private sewage disposal pressurized mound type systems. In some areas it may be required to increase the sand layer depth. Refer to **Appendix B- Southland Report**.
- The owner or builder for each lot must use a qualified septic system designer and contractor to determine the type of septic system necessary for each lot. The type of system will be based on house design and soil conditions which vary throughout the lots.
- A treatment mound or secondary effluent treatment may be required instead of a conventional treatment field if unacceptable soil conditions exist.
- Connection of accessory buildings to the sewage treatment system is permitted, provided a qualified septic system designer has designed the system, accounting for sewage from the accessory building.

5.2.3 POSSIBLE CONFLICT WITH STORM WATER DRAINAGE

No on-site septic system components shall be installed in areas designated for stormwater conveyance or detention of runoff.

5.2.4 ALBERTA SEWAGE SYSTEM REQUIREMENTS

The *Alberta Private Sewage Systems Standard of Practice 2021* describes the requirements for the design of on-site wastewater treatment and disposal systems. All on-site wastewater treatment and disposal systems must adhere to these regulations.

5.3 STORM WATER MANAGEMENT

5.3.1 EXISTING CONDITION

A detailed description of the site and existing surface drainage is described in the stormwater management plan which is appended to this document.

5.3.2 DRAINAGE CONCEPT

The proposed development outlined in this report will follow the Stormwater Management Plan (SWMP) which covers for the entire ASP area.

The on-site storage ponds will be designed to store runoff up to a post-development 1 in 100 year-24-hour event. Based on PCSWMM modelling using a Chicago design storm¹, it is proposed that the developer provide a combined total of approximately **7,200 cu. m.** of active stormwater storage on-site through the use of individual ponds and natural depression (trapped lows) with zero release. The evaporative ponds will be located at the back of each lot with approximate sizes ranging from 300 cu.m. to 1,700 cu.m. The storm pond water will be drained through evaporation, infiltration and irrigation. Excess storm water due to back to back storms will overflow in the northeast corner of the development. This being where excess stormwater currently exits the property. The final size and design of each pond will be determined at the time of subdivision.

The two lots zoned CR Country Residential along the south boundary of the ASP, will drain storm water into smaller onsite storage ponds with excess flows directed via swales to the adjacent lots to the north for combined storage.

All water storage areas and swales will be protected with an easement or right-of-way. These easements or right of ways shall be registered on title at the time of subdivision.

Additional drainage swales will be required between the new lots and along the east boundary of the lots to direct the runoff into the ponds (see **Figure 6- Stormwater Management Plan**).

5.3.3 SITE GRADING

The subdivision will be graded to be consistent with the overall stormwater management plan. Individual lots will be graded such that all surface runoff will be directed to perimeter swales designed to carry the stormwater runoff into the stormwater detention facilities on each lot. The required size and cross section of these conveyance facilities and storage/evaporative ponds will be determined during Detailed Design stage.

5.4 ROADS & ACCESS

A TIA was completed by Watt Consulting Group and a Type 111B intersection was recommended for the intersection of Highway 512 and Range Road 210A. Alberta Transportation and Economic Corridors have reviewed this and advised that a south bound to west bound taper (acceleration lane) at this intersection was satisfactory at this time. They also advised that the existing most westerly direct highway access to this property will need to be removed. (See **Figure 5 – Conceptual Lot Layout & Setbacks, Figure 7 – Intersection Upgrade and Appendix 4 – Correspondence from Alberta Transportation.**)

It is proposed to provide access to Lot 2 using the existing access off of Highway #512. The existing Lot 1 access will be abandoned and will now be accessed off the existing gravelled entrance road to the Pater Subdivision (Range Road 210A). The lots 3 & 4 access will be adjacent to each other at the junction of their property lines and the Pater access road.

Lots 5,6, and 7 will have their access off of a new county road coming northerly off the Pater access road (Range Road 210A). A 30 m diameter cul-de-sac will be constructed at the north end of this road. This new road will be partially on the Country Side ASP site and partially along the east boundary of Block 1, Plan 981279. This new access road will be owned by the County and will be paved to meet County standards.

¹ Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 1440 minutes, 1:100 year-24hr.(city of Lethbridge – Design standards, section 3.3.3

5.5 IRRIGATION

5.5.1 COMMUNITY IRRIGATION

A community irrigation system will provide SMRID supplied non-potable water to each lot for watering lawns and gardens or possibly as a source of grey water for each lot. This irrigation water will be supplied by SMRID through a communal pipeline system with lateral connections supplying each lot. Each lot will have an irrigation water storage pond to be used when SMRID water is not available. The irrigation system will require approval from SMRID.

5.5.2 OPERATION OF SYSTEM

A homeowner's association or other legal entity will be formed to own and operate the irrigation system within the development. The irrigation piping will be installed in an easement through the lots in favor of this association. The type of entity proposed to manage the irrigation system must be approved by the Lethbridge County. This irrigation system must be approved by SMRID.

5.6 SHALLOW UTILITIES

5.6.1 NATURAL GAS

Natural gas is available through ATCO Gas.

5.6.2 ELECTRICITY

Fortis Alberta is the current distribution of electricity in the County. It is planned that electrical services to the lots will be distributed overhead as are the existing residential lots to the west. All necessary application for the detailed design and installation of electrical utilities will be submitted to Fortis for approval.

5.6.3 SOLID WASTE

Lot purchasers will be responsible for disposing of their own solid waste or by contracting out this service to a private solid waste hauler.

6.0 Protective Services

6.1 FIRE SERVICES

The Coaldale Fire Department is the responding fire station and is located approximately 10 km east of the plan area.

6.2 POLICE SERVICES

Policing in the development area is provided by the R.C.M.P. which has a detachment located in the Town of Coaldale.

7.0 Development Agreement

The Developer will enter into a Development Agreement with Lethbridge County regarding the following matters:

- Runoff conveyance and detention as per the Stormwater Management Plan,
- Roadway construction,
- Potable water installation,
- Irrigation system,
- Shallow utilities,
- Roadway signage including culvert markers.
- Other services or matters considered necessary by Lethbridge County.

8.0 Architectural Controls

8.1 PURPOSE OF CONTROLS

The developer of Country Side will establish a set of architectural controls in order to achieve standards and development limitations throughout the area.

Architectural Controls shall be submitted to Lethbridge County for pre-approval and will be registered on title at the time of subdivision.

These architectural controls will be administered by the Developer.

8.2 TYPICAL ITEMS INCLUDED IN CONTROLS

Typically, the controls that will be in effect within Country Side will include the following:

- Minimum dwelling unit area and site coverage (building footprint),
- Siting of all buildings,
- Diversity in home design,
- Design Compatibility between house and accessory buildings,
- Incorporation of energy efficiency features,
- Roof pitch & materials,
- Exterior finishing materials,
- Fencing materials,
- Minimum landscaping requirements,

- Accessory building.
- Building and lot drainage requirements
- Sanitary Sewage Disposal

8.3 SPECIFIC ARCHITECTURAL CONTROL REQUIREMENTS

The Architectural Consultant will be responsible for approving the setbacks, landscaping and lot grading plan for each lot prior to Lethbridge County issuing a development or building permit.

Upon completion of the development on each lot, the Consultant will check the landscaping and lot grade elevations in the field. He will either issue a certificate of compliance or require the home owner to re-grade the lot to meet the design. A copy of the grading compliance will be provided to the County if so desired.

9.0 LETTER TO NEIGHBORS

A letter and drawings (refer to Appendix 5) were hand delivered to about 25 neighbors for their information and comments.

9.1 SUMMARY OF NEIGHBORHOOD QUESTIONS AND CONCERNS

- An email was received from Lisa Lutz questioning light industrial building sizes and inquiring who was responsible for paved road into the subdivision.
- A form from the Neighborhood Letter was received from John Ockerman advising that he had no concern with the proposed development.
- An email was received from Chris Kadijk requesting information about Architectural Controls.
- An email was received from Christian Hamel expressing strong opposition to the light industrial/ commercial uses as shown in the County Side ASP. He was very concerned about introducing light industrial uses in a predominantly agricultural area and suggested environmental risks. Some other concerns were: noise pollution, air quality, traffic congestion, light pollution, water contamination, order & dust, physiological stress, access to nature and community cohesion.

10.0 IMPLEMENTATION AND DEVELOPMENT CONTROL

- This Area Structure Plan will become a Bylaw of Lethbridge County.
- The Land Use Bylaw must be amended to include the Direct Control zoning and the Grouped Country Residential (GCR) zoning.
- All subsequent subdivision applications must adhere to provisions of this A.S.P. Bylaw and the Land Use Bylaw.
- The Direct Control By-law shall include a clause stating that re-subdivision is not permitted.
- Development applications, within the boundaries of the plan area, must comply with the requirements of the respective land use districts for which they are proposed.
- Building permits must be reviewed through a safety codes process approved by Lethbridge County.
- The developer of The Country Side subdivision will establish a level of architectural standards and development limitations in order to achieve the desired results within the proposed subdivision. These standards and limitations are beyond the normal statutory requirements of Lethbridge County and will thus be administered by either the Developers or agents acting on their behalf and within their legal authority.
- Lethbridge County may utilize other bylaws and policies that will regulate aspects of activity within the boundaries of the Area Structure Plan.

11.0 PHASING

This development will be constructed in one phase.

12.0 MARKET DEMAND

The County's Group Residential strategy requires that a market demand study be included with the ASP. Consultation with land appraisers and realtors has determined that a market demand study in a rural residential development setting is difficult to undertake. The developer is best to determine market demand because it's the developer who must finance the servicing of the lots.

The two country residential lots have been tentatively sold but formal agreements must wait for final subdivision registration. It is anticipated that the remaining five lots will be developed and sold within two years. The developer has definite interest in three of these with ongoing discussions for the balance.

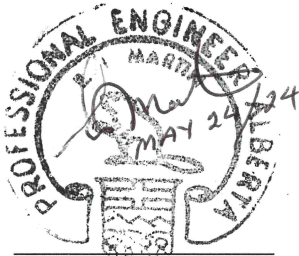
The developer has met with three or four real estate agents who have indicated that country residential lots are in high demand but potential purchases are sensitive to lot prices. Additionally, they reported that it is difficult to measure market demand for the lots zoned as Direct Control because there are no comparative lots available.

CLOSURE

We are pleased to present to you the Country Side Area Structure Plan.

We trust this meets your requirements. Please contact the undersigned if you have any questions or comments.


Respectfully submitted, May 24th, 2024.



Prepared by
Ed Martin, P.Eng.



Reviewed by
Ray Martin, P.Eng.

PERMIT TO PRACTICE
Martin Geomatics Consultants Ltd.
Signature: 
Date: 2024-05-24
PERMIT NUMBER: P 5852
The Association of Professional
Engineers and Geoscientists of Alberta

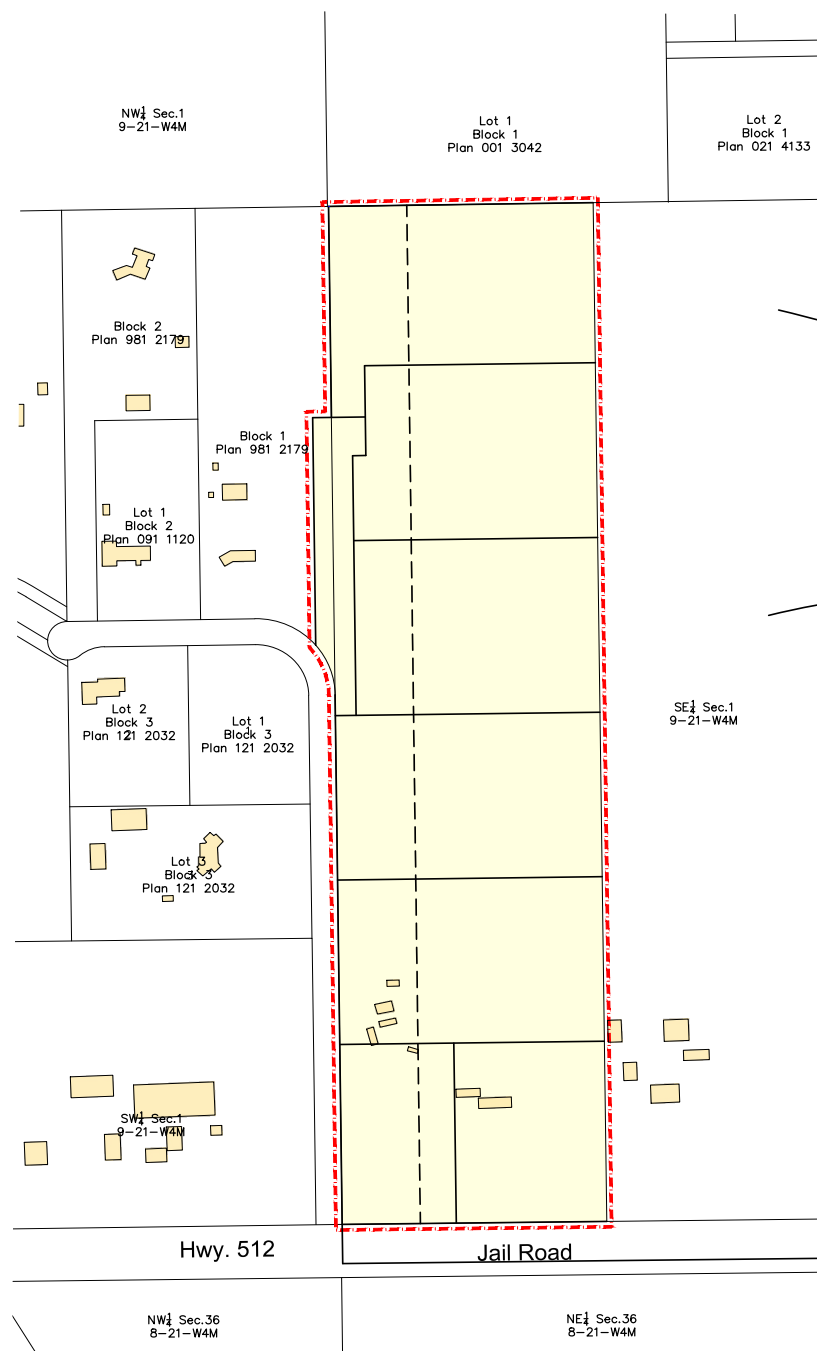
FIGURES

1. Location
2. Existing Site Plan
3. Aerial Photo
4. Land Use
5. Layout & Setbacks
6. Stormwater Management Plan
7. Intersection Upgrade

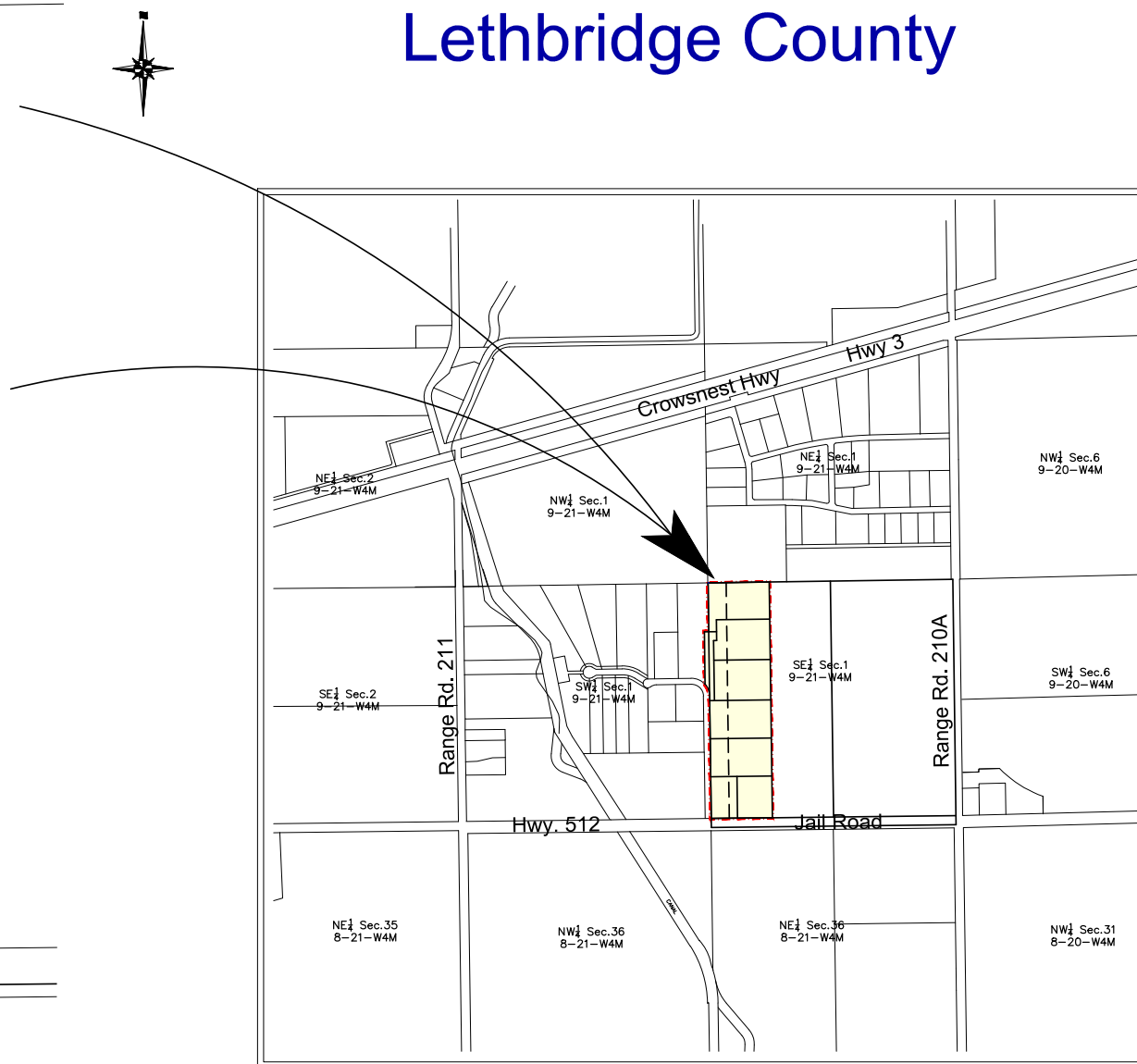
Country Side Subdivision AREA STRUCTURE PLAN Lethbridge County

DRAWING LIST

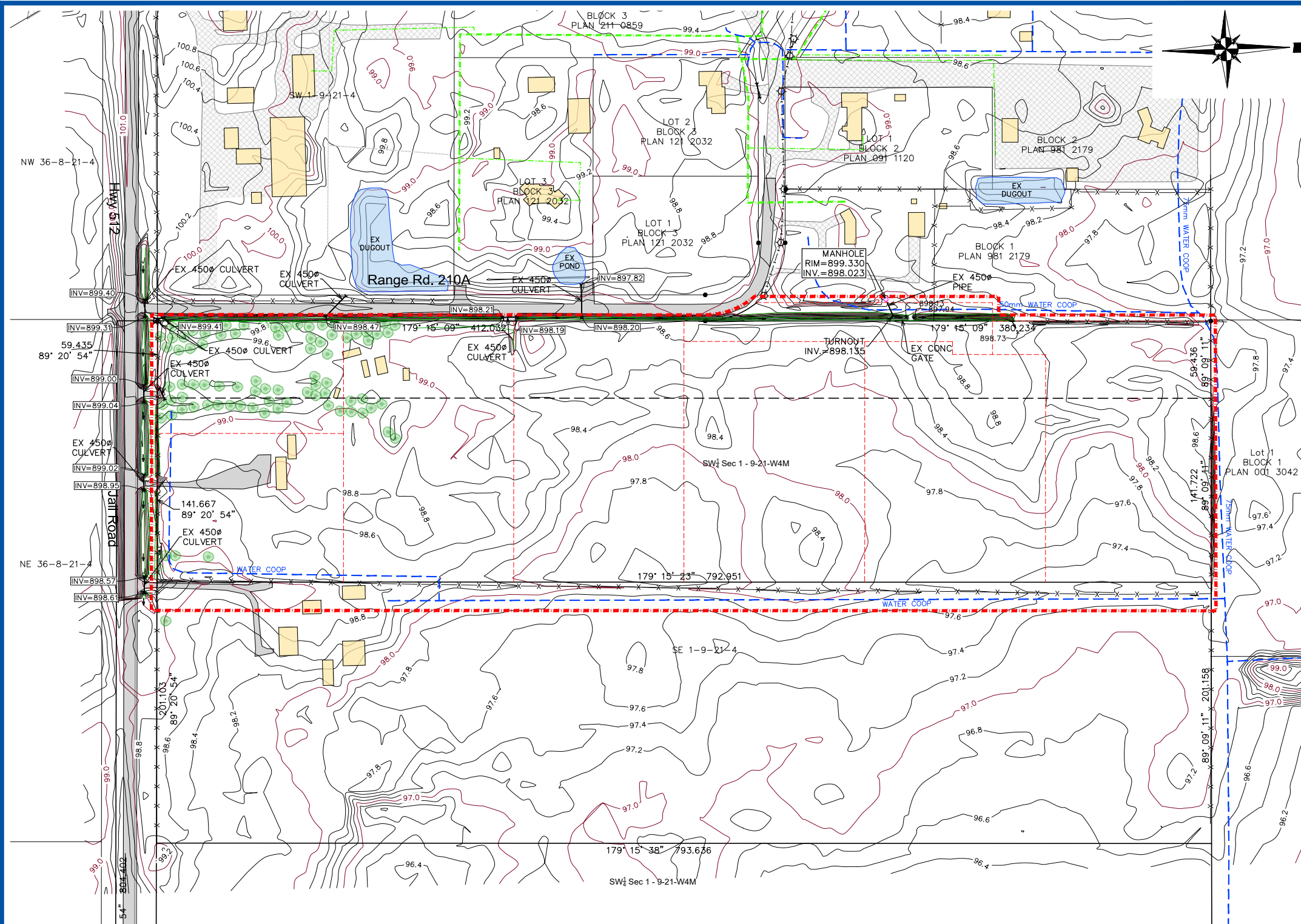
DWG. No.	Description
Fig 1	LOCATION
Fig 2	EXISTING SITE PALN
Fig 3	AERIAL PHOTO
Fig 4	LAND USE
Fig 5	CONCEPTUAL LOT LAYOUT & SETBACKS
Fig 6	STORM WATER MANAGEMENT PLAN
Fig 7	INTERSECTION UPGRADE



SUBDIVISION DETAIL
SCALE 1:5000



LOCATION MAP
SCALE 1:20000



LEGEND:
 - - - - - AREA STRUCTURE PLAN BOUNDARY
 Area = 40.06 acres (16.21 ha)

1: 3000

Country Side Subdivision
 AREA STRUCTURE PLAN
 June 07, 2024

EXISTING SITE PLAN
 FIGURE 2

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594
 229729LS



LEGEND:

■■■■■■■■■■ AREA STRUCTURE PLAN BOUNDARY
 Area = 40.06 acres (16.21 ha)

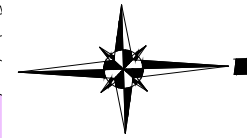
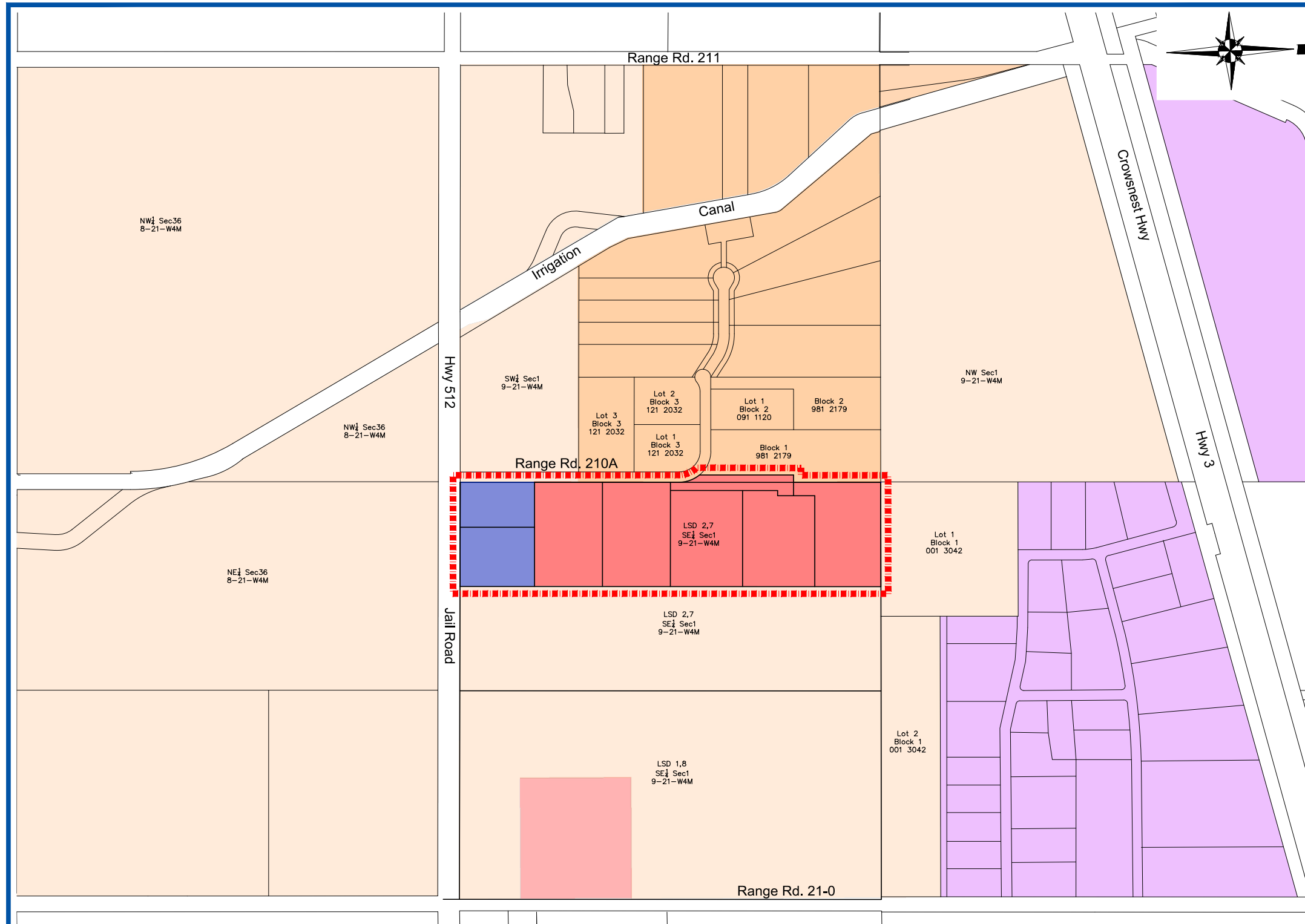
1: 3000

Country Side Subdivision
 AREA STRUCTURE PLAN
 June 07, 2024

AERIAL PHOTO
 FIGURE 3

229729LS

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mgt.ca Fax: (403) 329-6594



- LEGEND:**
- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - EXISTING:**
 - EXISTING: URBAN FRINGE (UF)
 - EXISTING: GROUPED COUNTRY RESIDENTIAL (GCR)
 - EXISTING: RURAL GENERAL INDUSTRIAL (RGI)
 - EXISTING: RURAL COMMERCIAL (RC)
 - PROPOSED:**
 - FROM: URBAN FRINGE (UF)
TO: DIRECT CONTROL (DC)
 - FROM: URBAN FRINGE (UF)
TO: GROUPED COUNTRY RESIDENTIAL (GCR)

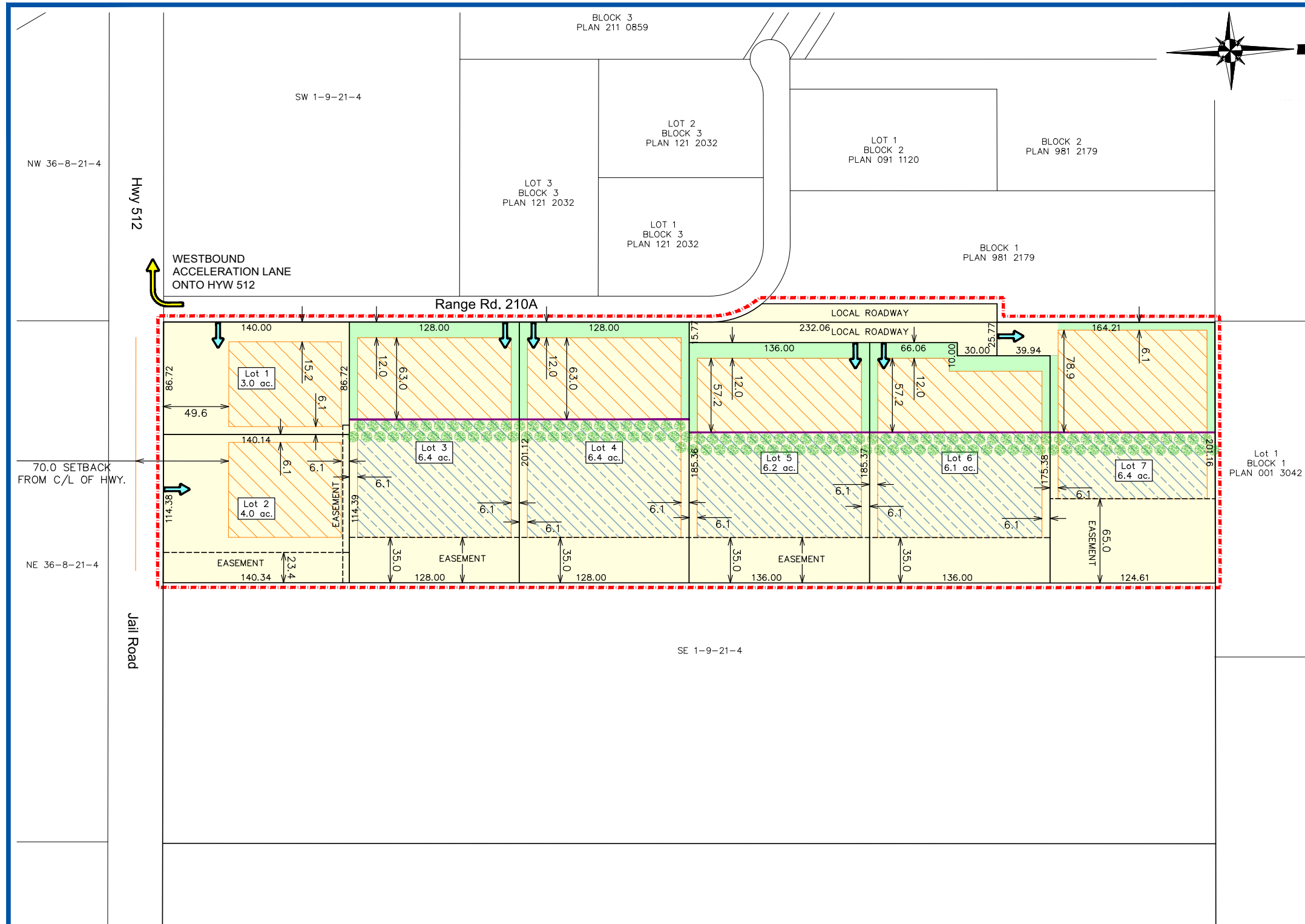
1: 7500

Country Side Subdivision
AREA STRUCTURE PLAN
 June 07, 2024

LAND USE
FIGURE 4

MARTIN
GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS



LEGEND:

- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
- LANDSCAPED AREA
C/W IRRIGATED GRASS
- BUILDABLE AREA FOR THE
RESIDENTIAL DWELLINGS AND
ACCESSORY BUILDING USED AS A
GARAGE OR OTHER SIMILAR
RESIDENTIAL PURPOSE.
- 2 ROWS OF TREES
MAX SPACING EQUAL TO THE
RECOMMENDED SPACING FOR
THAT SPECIES
(TO BE DETERMINED)
- EASEMENT
- BUILDABLE AREA FOR
RESIDENTIAL DWELLINGS AND
LIGHT INDUSTRIAL

LOT DIMENSIONS AND EASEMENT LOCATION ARE
CONCEPTUAL AND MAY BE CHANGED DURING THE
SUBDIVISION PROCESS.

- PROPOSED ACCESS
- DRAINAGE EASEMENT

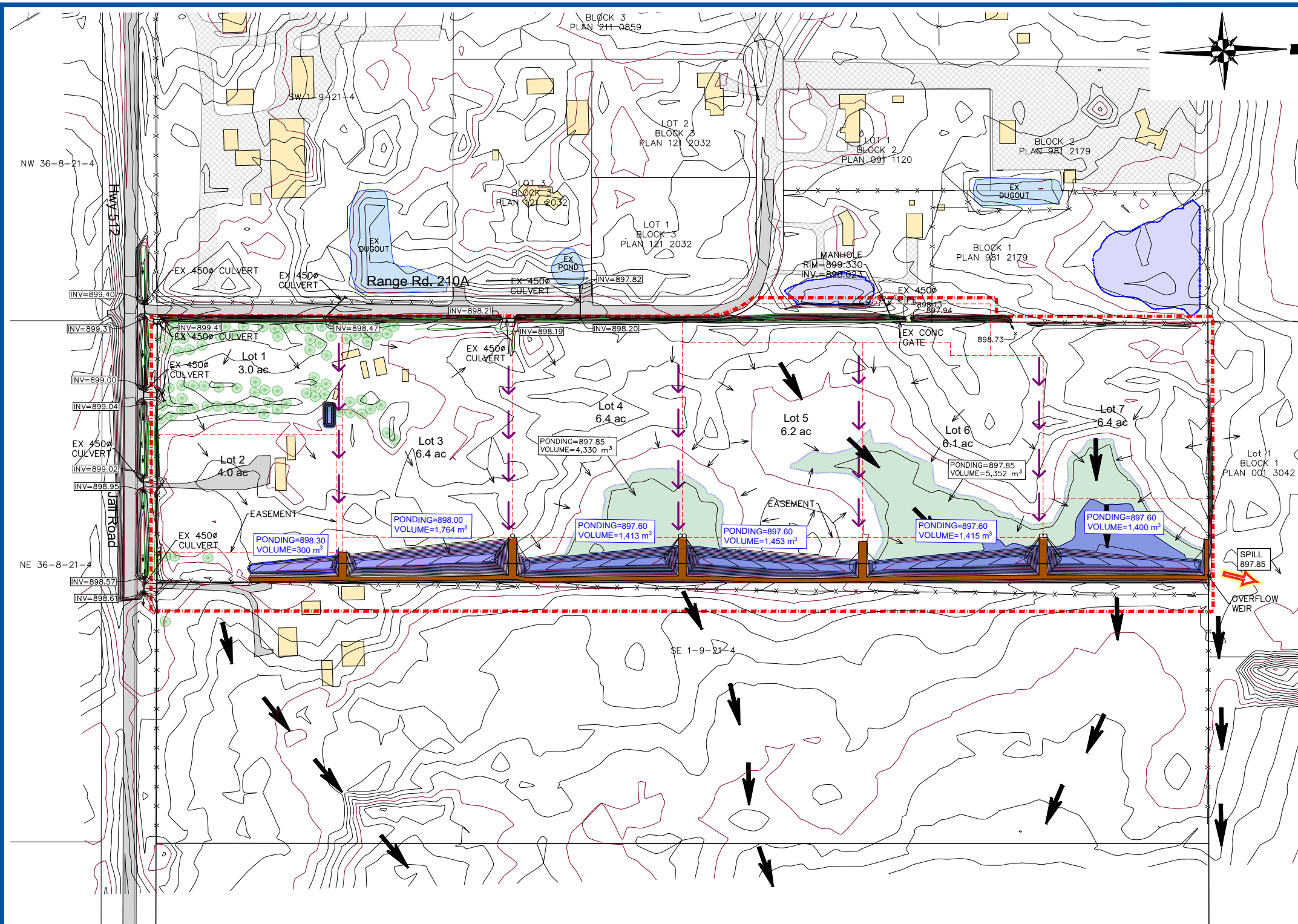
1: 3000

Country Side Subdivision
 AREA STRUCTURE PLAN
 June 07, 2024

CONCEPTUAL LOT LAYOUT & SETBACKS
 FIGURE 5

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

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- LEGEND:**
- - - - - AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - EXISTING STRUCTURE/HOUSE
 - EXISTING GRAVEL ROAD
 - SURFACE DRAINAGE ROUT
 - OVERLAND DRAINAGE SYSTEM ROUTE
 - EMERGENCY DRAINAGE SYSTEM ROUTE
 - - - - - PROPOSED MAJOR CONTOUR (1.0m)
 - - - - - PROPOSED MINOR CONTOUR (0.2m)
 - EX TREE
 - 1:100 yr. PONDING AREA
 - PONDING AREA OVER 1:100 yr. EVENT (TOP OF BERM - SPILL ELEV=897.85)
 - OVERFLOW WEIR
 - GRASS SWALE BETWEEN LOTS
 - PROPOSED DUGOUT / POND
 - - - - - DRAINAGE EASEMENT

LOT DIMENSIONS AND EASEMENT LOCATION ARE CONCEPTUAL AND MAY BE CHANGED DURING THE SUBDIVISION PROCESS.

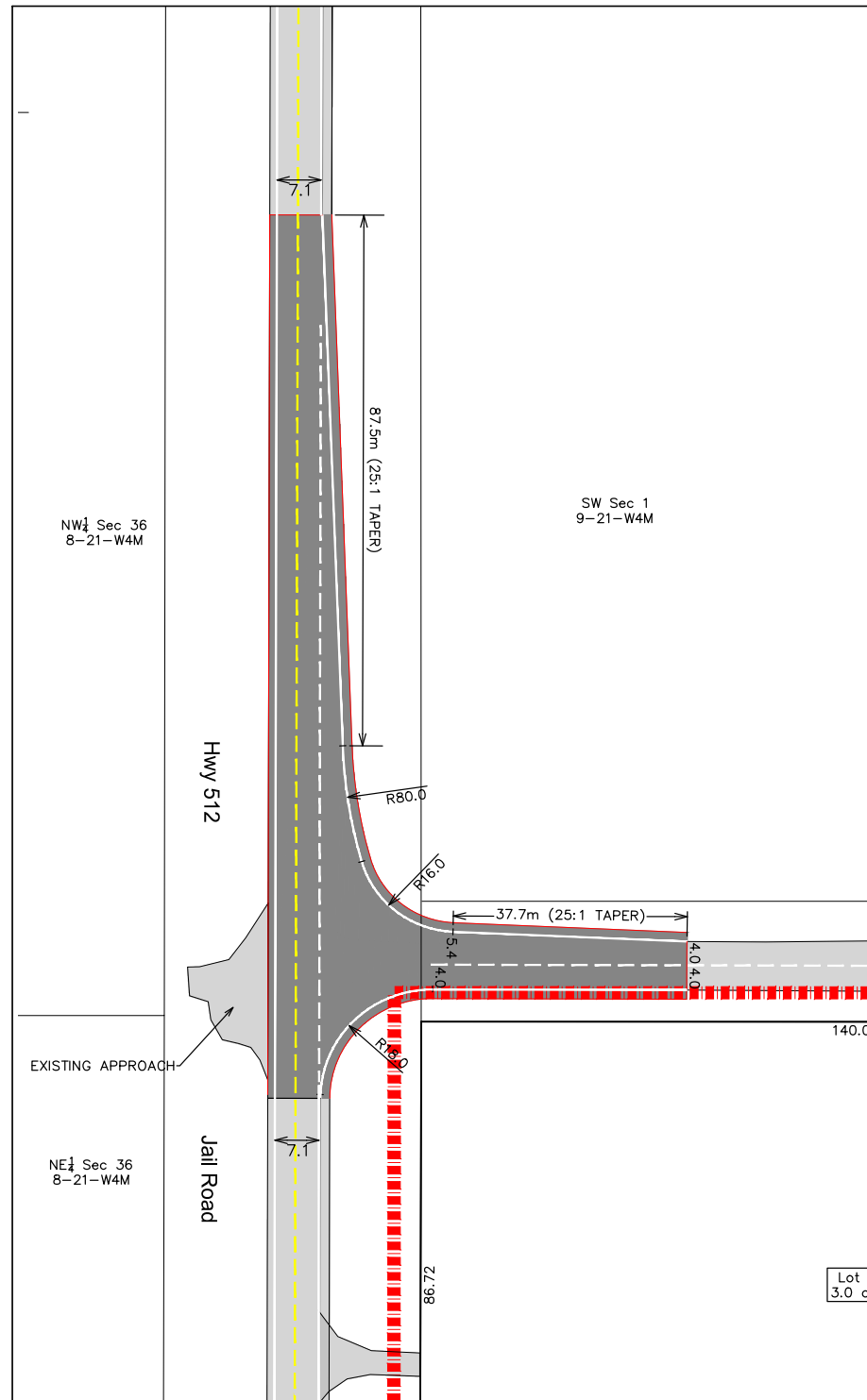
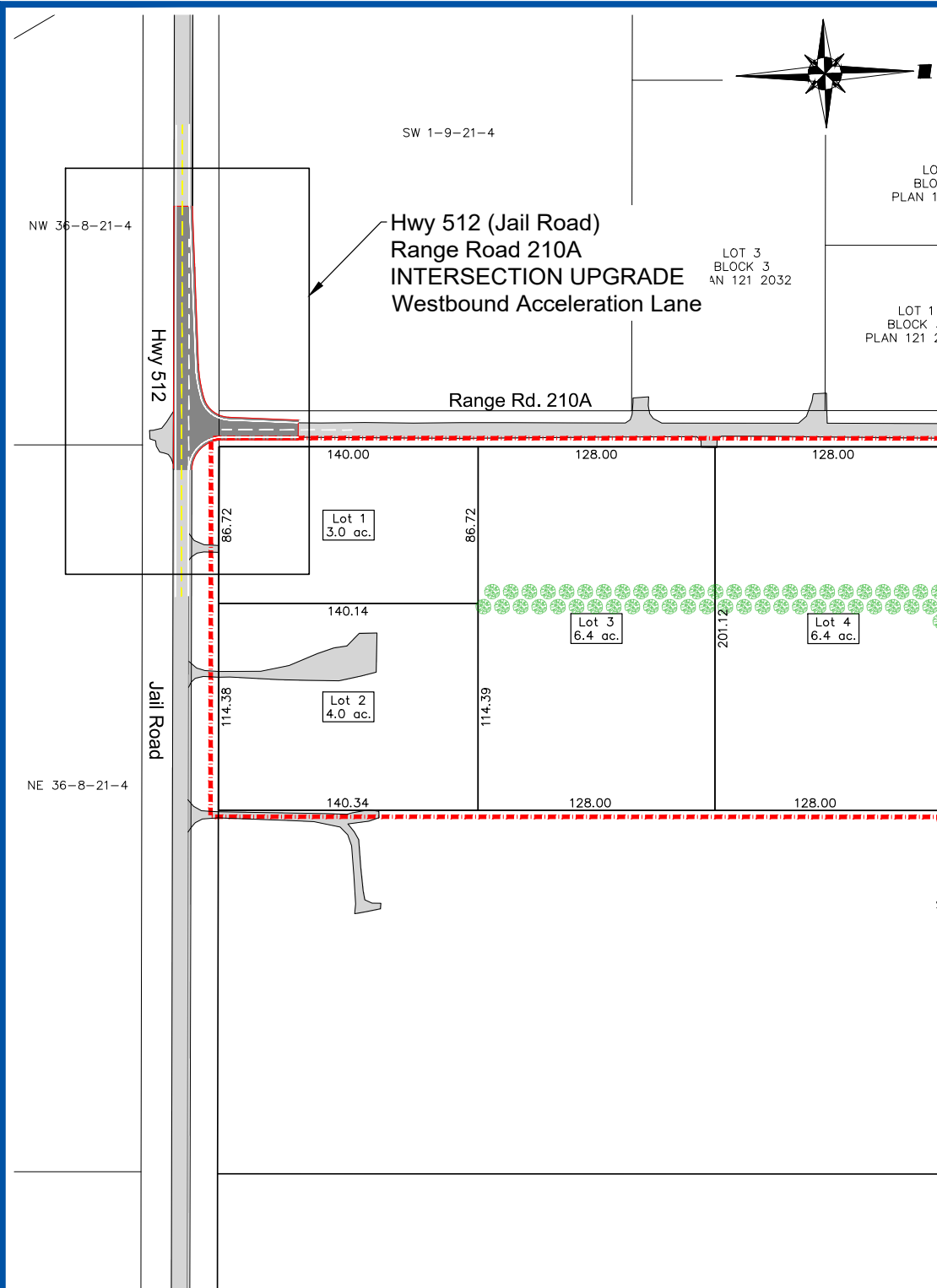
1: 3000

Country Side Subdivision
 AREA STRUCTURE PLAN
 June 07, 2024

STORM WATER MANAGEMENT PLAN
 FIGURE 6

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS



LEGEND:



1: 3000

Country Side Subdivision

AREA STRUCTURE PLAN

March 2023

INTERSECTION UPGRADE
FIGURE 7

MARTIN
GEOMATIC CONSULTANTS

Consulting Engineers, Planners, and Land Surveyors
255-31st Street North Lethbridge, Alberta T1H 3Z4
Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS

APPENDICES

1. Property Titles
2. Southland Report
3. Stormwater Management Plan
4. Correspondence From Alberta Transportation
5. Letter And Drawings To Neighbors

APPENDIX 1

PROPERTY OWNERSHIP TITLES

<u>Certificate of Title</u>		<u>Landowner</u>
C of T #211 110 525 +1	-	Blair Frache
C of T #211 110 525	-	Blair Frache



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0017 551 673	4;21;9;1;;2,7	211 110 525 +1

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
SECTION 1

THE MOST WESTERLY 195 FEET THROUGHOUT THE WEST HALF OF
LEGAL SUBDIVISIONS 2 AND 7 IN THE SOUTH EAST QUARTER
CONTAINING 4.77 HECTARES (11.8 ACRES) MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES (MORE OR LESS)	ACRES	
ROAD WIDENING	7711751	0.061	0.15	(LSD 2)

EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
211 110 525	07/06/2021	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

BLAIR FRACHE
OF PO BOX 426
COALDALE
ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER IRRIGATION DISTRICT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

211 110 525 +1

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

2506ET . RESTRICTIVE COVENANT
"REGISTRATION NUMBER CORRECTED SEPT 5/12 BY
121228486"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
PART OF AN IRRIGABLE UNIT

001 245 087 30/08/2000 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ATCO GAS AND PIPELINES LTD.
909 ELEVENTH AVENUE SW
CALGARY
ALBERTA

221 141 380 07/07/2022 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
525-40 ST SOUTH
LETHBRIDGE
ALBERTA T1J4M1

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0017 553 265 4;21;9;1;;2,7 211 110 525

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
SECTION 1
THOSE PORTIONS OF THE WEST HALVES OF LEGAL SUBDIVISIONS
2 AND 7 IN THE SOUTH EAST QUARTER WHICH LIES TO THE EAST OF
THE WEST 195 FEET THEREOF, CONTAINING 11.3 HECTARES (28.2 ACRES)
MORE OR LESS
EXCEPTING THEREOUT:
PLAN NUMBER HECTARES (MORE OR LESS) ACRES
ROAD WIDENING 7711751 0.146 0.36 (LSD 2)
EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768

Table with 5 columns: REGISTRATION, DATE (DMY), DOCUMENT TYPE, VALUE, CONSIDERATION. Row 1: 211 110 525, 07/06/2021, TRANSFER OF LAND, SEE INSTRUMENT

OWNERS

BLAIR FRACHE
OF PO BOX 426
COALDALE
ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS

Table with 3 columns: REGISTRATION NUMBER, DATE (D/M/Y), PARTICULARS. Row 1: 1485KX, 21/06/1971, IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

211 110 525

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

IRRIGATION DISTRICT

741 059 286 18/06/1974 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.
"PORTION DESCRIBED IN 4;21;9;1;;2"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
PART OF AN IRRIGABLE UNIT

221 141 380 07/07/2022 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
525-40 ST SOUTH
LETHBRIDGE
ALBERTA T1J4M1

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
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PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

APPENDIX 2

SOUTHLAND REPORT

Southland Report Dated: April 6, 2023

SouthLand Contractors, Inc.

SLCI

Quotation

**P. O. Box 505
Coaldale, AB T1M 1M5**

Phone # 403-635-4910

Fax # 403-345-3969

GST # 830864450

Name/Address

Blair Frache

**General Excavating Contractor
Commercial Foundation Excavation & Backfill
Site Services/ Site Grading, Compaction & Gravel Base**

**PSDS Qualified for Septic System
Design/Installation**

**Pivot Mainlines/Acreage Development
Dugouts/Roadbuilding/Trenching
Water & Sewer Services/Cisterns/Pumps
Gravel Truck/Bobcat/Hi-Hoe/Dozer/Grader Service**

E-mail

Estimate #

4265

nh-slci@live.ca

Date

2023-04-06

Expiry Date

2025-06-01

Description	Qty	Rate	Total
<p>To Whom it may concern--</p> <p>We have completed a site evaluation with test pits on the property as shown on the map included with this report and have found that the property will support private sewage disposal pressurized mound type systems. A restrictive horizon was identified in one location indicating that the pressurized mound type system may require increasing the sand layer depth in some areas of the development to ensure depth to restrictive layers required by the Standard is met. This increased sand layer depth meets all the design requirements of the Standard of Practice. Designers and installers should ensure that all installations are completed in accordance with the current Standard of Practice in force at the time of installation.</p> <p>By- <u>Nelson Hoolley</u> Private Sewage Design/Install Ticket #10156</p>			

TERMS & CONDITIONS--

THIS QUOTE IS VALID ONLY UNTIL EXPIRY DATE SHOWN. Because of our scope of work we require 30% initial deposit to schedule job, 2nd draw of 45% at start of job, remaining balance due at substantial completion. No work will proceed until these payment terms are fulfilled. Customer responsible to provide accurate drawings and/or specifications. Sewage disposal system quotes are conditional upon a site evaluation and lab reports. Conditions requiring changes from quoted system will involve additional charges. Customer responsible to provide correct address/legal land description for utility line locate purposes. All work schedules subject to receiving initial deposit, progress payments, weather, other trades, material availability, permitting processes, and/or our particular needs. Changes, additions, frost conditions, or items not listed on this quote will be extra.

Subtotal	\$0.00
GST	\$0.00
Total	\$0.00



Down To Earth Labs Inc.

The Science of Higher Yields

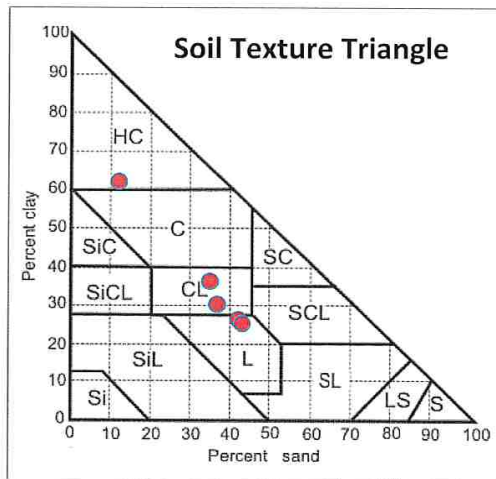
Southland Contractors Inc.
Box 505
Coaldale, AB T1M 1M5

Report #: 148085
Report Date: 2023-04-03
Received: 2023-03-30
Completed: 2023-04-03
Test Done: ST

Project :
Frache
PO:

3510 6th Ave North
Lethbridge, AB T1H 5C3
403-328-1133
www.downtoearthlabs.com
info@downtoearthlabs.com

	Sample ID:	230330P001	230330P002	230330P003	230330P004	230330P005
	Cust. Sample ID:	1	1	1	1	2
	Analyte Units	8-22	22-44	44-62	62-108	13-25
Sand	%	37.0	12.2	35.2	42.2	43.2
Silt	%	33.0	25.8	28.8	31.8	31.8
Clay	%	30.0	62.0	36.0	26.0	25.0
Soil Texture	-	Clay Loam	Heavy Clay	Clay Loam	Loam	Loam





Down To Earth Labs Inc.

The Science of Higher Yields

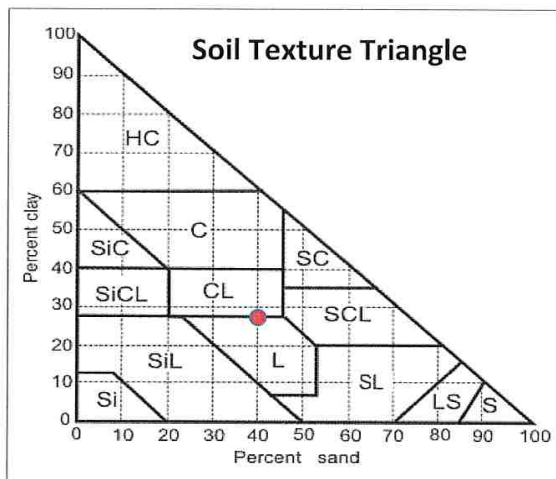
Southland Contractors Inc.
Box 505
Goaldale, AB T1M 1M5

Report #: 148085
Report Date: 2023-04-03
Received: 2023-03-30
Completed: 2023-04-03
Test Done: ST

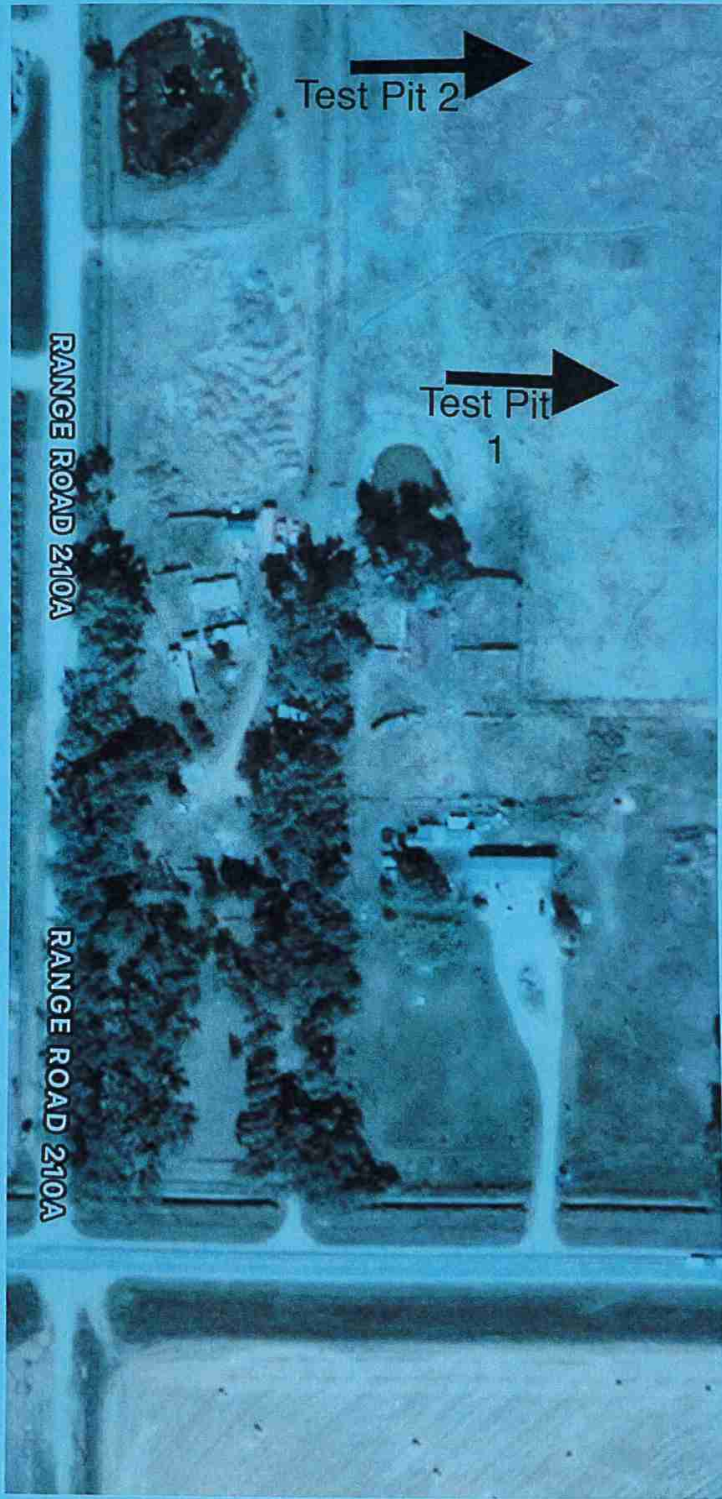
Project :
Frache

3510 6th Ave North
Lethbridge, AB T1H 5C3
403-328-1133
www.downtoearthlabs.com
info@downtoearthlabs.com

Sample ID:	230330P006	
Cust. Sample ID:	2	
Analyte	Units	25-108
Sand	%	40.2
Silt	%	32.8
Clay	%	27.0
Soil Texture	-	Clay Loam



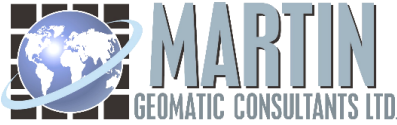
Raygan Boyce - Chemist



APPENDIX 3

Stormwater Management Plan

Stormwater Management Plan



STORMWATER MANAGEMENT PLAN

COUNTRY SIDE SUBDIVISION SE-1-9-21-W4M LETHBRIDGE COUNTY ALBERTA

Prepared for: 324700 Alberta Ltd.

File Number: 229729CE

Dated: April 2024

Prepared By: Martin Geomatic Consultants Ltd.
255 – 31st Street No.
Lethbridge, AB T1H 3Z4
403-329-0050
geomart@mgcl.ca

April 16, 2024

File: 229729CE

324700 Alberta Ltd.

**Re: Stormwater Management Plan
Proposed Subdivision in SE ¼ Sec 1-9-21-W4M**

We are pleased to submit the Stormwater Management Plan for the Proposed Subdivision in SE ¼ Sec 1-9-21-W4M. This report examines the stormwater management requirements to subdivide the subject property.

We trust that this report meets with your needs.

Yours truly,



PERMIT TO PRACTICE
Martin Geomatic Consultants Ltd.
Signature: 
Date: 2024-04-17
PERMIT NUMBER: P 5852
The Association of Professional
Engineers and Geoscientists of Alberta

MARTIN GEOMATIC CONSULTANTS LTD.

Ray Martin, P.Eng.

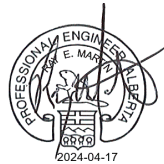
Enclosure

CORPORATE AUTHORIZATION

This report has been prepared by Martin Geomatic Consultants Ltd. (MGCL) under the authorization of 324700 Alberta Ltd. The material in this report represents the best Judgement of MGCL given the available information. Any use that a third party makes of this report, or reliance on or decisions made base upon it is the responsibility of the third party. MGCL accepts no responsibility for damages, if any, suffered by a third party, as a result of decisions made, or actions taken based upon this report.

Should any questions arise regarding the content of this report, please contact the undersigned.

MARTIN GEOMATIC CONSULTANTS LTD.



Ray Martin, P.Eng.
Senior Project Manager

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IV. Recommendations10
V. Closing10

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APPENDIX

- Appendix A – List of Figures
- Appendix B – Soil Information
- Appendix C – SWMM Model Results

I. PROJECT BACKGROUND AND DRAINAGE FEATURES

The Country Side Subdivision is a proposed grouped country residential and light industrial subdivision located 4.2 km east of Highway#4 (43rd St. S) and just north of Highway #512 (Jail Rd.) in Lethbridge County. The legal property description is Southeast Quarter of Section 1, Township 9, Range 21 West of the 4th Meridian. The property is bound by Range road 210A to the west, and the Broxburn Business Park to the north, and farmland to the east. The subdivision west of the subject property is known as the "Pater Subdivision" which contains 15 lots and is zoned Grouped Country Residential (GCR). **Drawing 1 – Project Location** shows the project location. This drainage report is being submitted in support of the Country Side Area Structure Plan (ASP) and rezoning application, for consideration by Lethbridge County. The plan area is 39.5 acres and the proposed lots will range in size from approx. 3.0 to 6.0 acres.

The southerly two lots are proposed to be Grouped Country Residential (GCR). The balance of the site containing five – 6 acre lots will be zoned Direct Control (DC). The Direct Control zoning will allow for residential dwellings and light industrial uses on each lot. The purpose of this report is to provide storm water management strategies to guide future development of the Country Side subdivision.

The proposed lot layout is shown in Appendix A - **Drawing 2 – Proposed Subdivision**.

A. Existing Features

The land is generally flat with the majority of the site draining to the east and northeast at ground slopes of 0.4% - 1.0%. This water then flows into two natural depressions (trapped lows) and overflow east and north into cultivated land.

The land splits into two main catchment areas which define the overland drainage boundaries. The south catchment (9.17 ha) Zone "1" (see Drawing-3) drains via overland sheet flow to a natural depression situated in the middle of the site along the east property line. The north catchment (6.96 ha) Zone "2" drains via sheet flow to another natural depression located along the north end of the east property line.

Existing soil descriptions for the area include loam (L) and silt loam Orthic Dark Brown Chernozem on medium textured (L, SiL) sediments deposited by wind and water (LET), as defined in soil polygon 5861 which encompasses an area of 936 ha^a.

The impact of offsite runoff is negligible due to the existing perimeter features which generally minimizes the overland drainage from entering or exiting the site. The north-south Range Road 210-A defines the west boundary. The east boundary slopes away from the site and includes a raised berm along the fence line and row of bushes running the length of the property. The two natural depressions pond to the height of the hedge berm and spill over to the east and north where it flows overland through cultivated fields ending up in a roadside ditch and/or to the Broxburn Business park. The natural depressions do not retain much water as it is lost to either infiltration or evaporation.

A topographical site survey was completed by Martin Geomatic Consultants Ltd. and compiled with lidar survey information. An existing surface model was created to define drainage boundaries, storage facilities and flow conveyance routes as shown in **Drawing 3 – Pre-development ponding**.

^a Alberta Soil Information Viewer, Alberta Agriculture and Forestry,
<http://www4.agric.gov.ab.ca/agrasidviewer>

B. Proposed Development

The impervious areas for the ASP will increase with the addition of hard surfaces such as driveways, principal and auxiliary building roofs for the residential and the light industrial buildings. We have used 25,000 sq. ft. per lot or 10.05% total impervious area for the lots that are zoned Direct Control. The two lots that are zoned Grouped Country Residential will have about 12,000 sq. ft. of impervious area.

Post development storm run-off will be directed to individual onsite ponds. The emergency overflow from each pond will drain through individual control structures/weirs into swales/ditches running between ponds connecting them in the event of a storm in excess of a 1:100 year storm event. The storm drainage will ultimately overflow to the north east corner of development into cultivated farmland. The storage areas will be drained by infiltration, evaporation, and irrigation. However, irrigation and evaporation will be the primary mechanisms for draining the ponds. Easements will be provided for the swales, ditches, and the areas affected by the storm water storage.

The on-site storage ponds will be designed to store runoff up to a post-development 1 in 100 year-24 hour event. Based on the modelling using a PCSWMM and a Chicago design storm^b, it is recommended that the developer provide a combined total of approximately **7,200 cu. m.** of active stormwater storage on-site through the use of individual ponds and natural depression (trapped lows). It is proposed that the developer construct a berm along the east boundary to contain the required trapped low storage (**see Drawing-4**). An overflow pipe will be installed between each pond to control the discharge in flood conditions and allow for shared storage. As there is no designated outfall route downstream of the development, all stormwater runoff in excess of the required storage will be directed through the constructed weirs and swales, and discharged into the fields to the existing pre-development runoff routes in the northeast corner of the development.

Swales are required throughout the site to direct runoff to the designated storage areas, which must be maintained to preserve conveyance capacities. Overflow from each pond will be directed to the storage areas via interconnected grass swales. The final size, shape, and design of each pond will be determined at the time of subdivision.

Drawing 4 – Post-development ponding shows the location of proposed detention ponds.

II. METHODOLOGY

Drainage analysis of the proposed development has been completed to determine runoff, storage, and discharge rates for pre and post-development conditions. Existing site analysis (pre-development) has been analyzed to determine a benchmark for allowable release rates at

^b Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 1440 minutes, 1:100 year-24hr.(city of Lethbridge – Design standards, section 3.3.3

the post development conditions if allowed. A stormwater management model^c has been built to assist with the analysis. The following parameters are included in the modeling:

1. Synthetic Design Storm – Chicago Method: 24-hour duration, 100-year return period, (IDF Parameters A = 1019.20, B = 0, C = 0.731)^d
2. Rainfall time step = 5 minutes
3. Simulation duration = 24 hrs
4. Routing Method: Dynamic Wave
5. No effect of Evaporation and Groundwater
6. Total Catchment area = 15.91ha
7. Infiltration Method: Green Ampt
8. Manning’s N Impervious = 0.015
9. Manning’s N Pervious = 0.15 (undeveloped), 0.1 (developed)
10. Depression Storage Pervious = 5mm (undeveloped), 3.8mm (developed)
11. Depression Storage Impervious = $0.77*(S\%)^{-0.49}$

A. Sub-Catchments

The existing (pre-development) and proposed site (post-development) models have been developed to simulate drainage patterns in response to a single event 100yr synthetic design storm. The following tables show the sub catchment parameters assumed in the pre and post-development models:

Table 1 – Pre Development Sub-Catchment Parameters							
Sub-Catchment ID	Area (ha)	Flow Path (m)	Slope (%)	Soil	H.Con (mm/hr)	S.Head (mm)	IMD
Zone-1	8.96	100	0.6	L, SiL	5.0	127.9	0.36
Zone-2	6.98	220	0.5	L, SiL	5.0	127.9	0.36

Table 2 – Post Development Sub-Catchment Parameters							
Sub-Catchment ID	Area (ha)	Flow Path (m)	Slope (%)	Soil	H.Con (mm/hr)	S.Head (mm)	IMD
Lot 1	1.17	84	0.4	L, SiL	5.0	127.9	0.36
Lot 2	1.56	111	0.6	L, SiL	5.0	127.9	0.36
Lot 3	2.59	198	0.8	L, SiL	5.0	127.9	0.36
Lot 4	2.62	204	0.7	L, SiL	5.0	127.9	0.36
Lot 5	2.66	195	0.3	L, SiL	5.0	127.9	0.36
Lot 6	2.68	205	1.0	L, SiL	5.0	127.9	0.36
Lot 7	2.63	211	0.5	L, SiL	5.0	127.9	0.36

^c EPA Storm Water Management Model – Version 5.0 (Build 5.0.22)

^d 2021 Design Standards, City of Lethbridge.

The source information for the above tables includes:

Area (ha) & Flow Path (m): measured

Slope (%): calculated from field survey

Soil Texture: Alberta Soil Viewer & boreholes

Hydraulic Conductivity (mm/hr) & Suction Head (mm): Soil properties^e

Initial Moisture Deficit: Typical soil characteristics^f

Pre-development impervious area: 1%^g

Post-development impervious area: 10%

III. RESULTS

The model results are presented in the following tables. Details of the rainfall runoff modeling are included in **Appendix C – SWMM Model Results**.

A. Pre and Post Development Runoff

Table 3 presents the pre-development model results for the sub-catchment runoff generated from a 24 hour duration 100 year storm. Existing subcatchment areas are shown in the attached **Appendix 3**.

Table 3 – Pre-Development Runoff			
Sub Catchment ID	Zone-1	Zone-2	TOTAL
Desc.	South	North	-
Area (ha)	8.96	6.98	15.94
Precipitation (mm)	120.15	120.15	120.15
Infiltration (mm)	86.69	83.67	
Runoff Depth (mm)	33.47	36.49	
Runoff Volume (m³)	3,070	2,570	5,640
Peak Runoff (m³/s)	0.55	0.73	-

^e Rawls, W.J. et al., (1983). J. Hyd. Engr., 109:1316

^f XP SWMM Solutions, <http://help.xpsolutions.com/display/xps2015/Infiltration>

^g 2016 Design Standards, City of Lethbridge.

Table 4 presents the sub-catchment model results for the post-development runoff generated from a 24 hour duration 100 year storm. Proposed subcatchment areas are shown in the attached Appendix (**Drawing-4, Post Development Ponding**).

Table 4 – Post-Development Runoff						
Sub-Catchment ID	Area (ha)	Precipitation (mm)	Infiltration (mm)	Runoff Depth (mm)	Runoff Volume (m³)	Peak Runoff (m³/s)
Lot 1	1.17	120.15	72.75	47.39	560	0.28
Lot 2	1.56	120.15	72.92	47.22	740	0.36
Lot 3	2.59	120.15	74.02	46.10	1,190	0.47
Lot 4	2.62	120.15	74.32	45.80	1,200	0.46
Lot 5	2.66	120.15	75.69	44.41	1,180	0.39
Lot 6	2.68	120.15	73.79	46.33	1,240	0.51
Lot 7	2.63	120.15	78.20	41.91	1,100	0.27
Total:	15.91	120.15			7,210	

B. Proposed Onsite Storage Units

Table 5 displays the proposed detention ponds in response to the 100 year event as shown on **Drawing-4, Post Development Ponding** .

Table 5 – Proposed Storage Units								
Storage Unit	Overflow Pipe (dia.)	Max. Depth (m)	HWL (m)	Max. HGL El. (m)	Area bottom (m²)	Area HWL (m²)	Max. Volume (m³)	Min. FF El. (m)
Lot 1	200mm	2.0	899.0	897.0	96	336	400	899.6
Lot 2	200mm	0.9	898.3	897.6	312	665	400	898.9
Lot 3	200mm	1.9	898.0	896.1	519	1506	1,764	898.6
Lot 4	200mm	1.7	897.6	895.3	532	1772	1,400	898.2
Lot 5	200mm	1.7	897.6	895.3	582	1873	1,400	898.2
Lot 6	200mm	1.7	897.6	895.3	595	2006	1,400	898.2
Lot 7	200mm	1.7	897.6	895.3	523	3744	1,400	898.2
TOTAL	-	-	-	-	-	-	8,164	-

HWL = High water level

HGL = Hydraulic grade line

Min. FF El. = Minimum finished floor or openings of buildings adjacent to ponds

FF = Finished floor

IV. RECOMMENDATIONS

It is recommended that the developer(s) provide a combined total of approximately **7,200 m³** of active stormwater storage on-site to retain the runoff (with zero discharge) generated from a 1 in 100 year 24 hour storm event as outlined in this report. Detailed designs including detention ponds, weirs, swales and grading plans are required prior to construction, which should follow the preliminary concepts outlined in this report. The high-water (HWL) level of such detention ponds shall be a minimum of 0.6 m below finished floor (FF) elevations of adjacent buildings. Emergency escape routes shall be provided for a suitable outlet from each pond in the event of flooding. The storage areas will be drained by infiltration, evaporation, and irrigation controlled by the individual lot owners. Easements will be provided for the swales, ditches, and the areas affected by the storm water storage.

Based on varying soil conditions, irrigation and evaporation will be the primary mechanisms for draining the ponds. If another event were to occur prior to the ponds being drained, excess storm water will ultimately overflow in the northeast corner of the development. This being where excess storm water is currently exiting the property.

V. CLOSING

We trust that this report meets the requirements of the Area Structure Plan. Should you require any further information, please contact the undersigned.

Per:



Ray Martin, P.Eng.
Project Manager



MARTIN GEOMATIC CONSULTANTS LTD.

Association of Professional Engineers and Geoscientists of Alberta
Permit to Practice P05852

APPENDIX "A"
LIST OF DRAWINGS:

Drawing 1 – Project Location

Drawing 2 – Proposed Subdivision/Land Use

Drawing 3 – Pre-Development Features

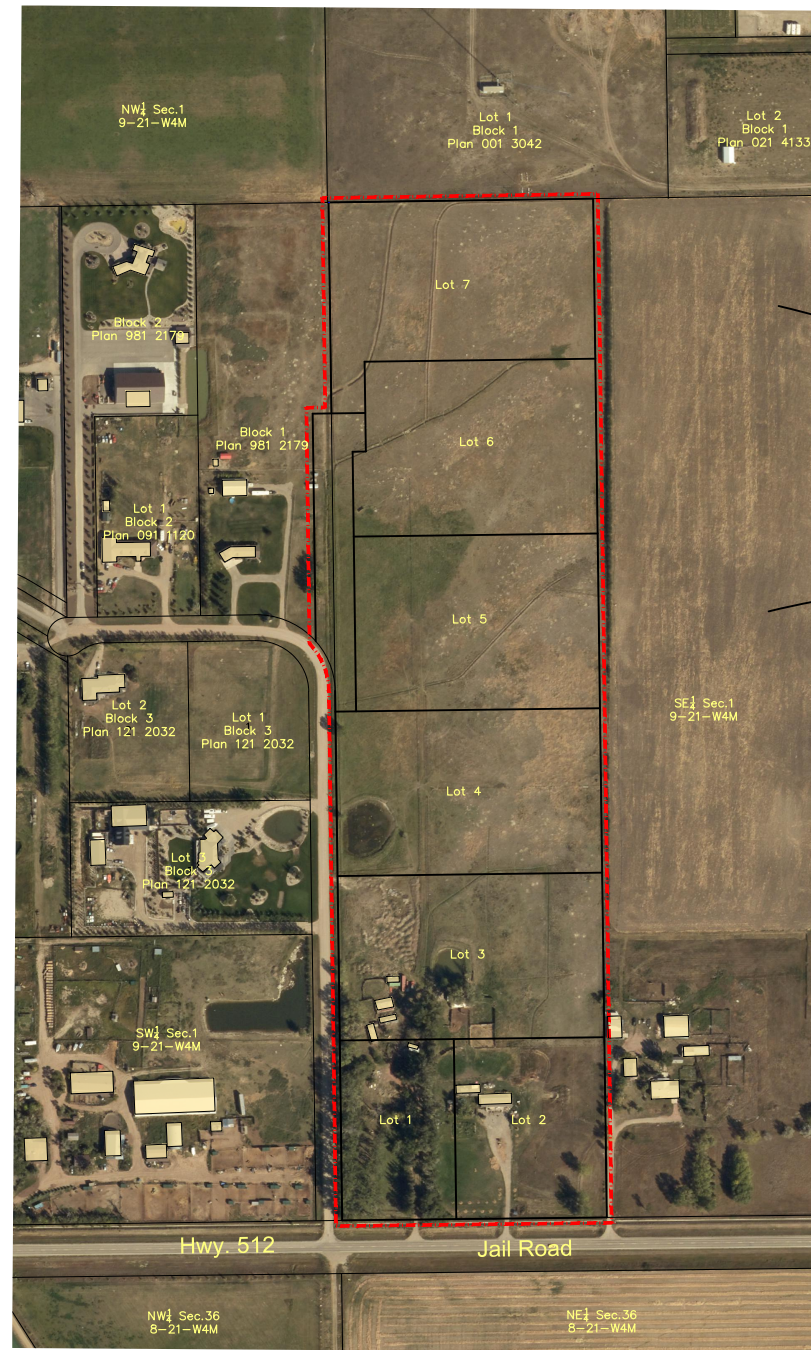
Drawing 4 – Post-Development Ponding

STORMWATER MANAGEMENT PLAN
COUNTRY SIDE SUBDIVISION
SE ¼ SEC 1-9-21-W4M
Lethbridge County, Alberta

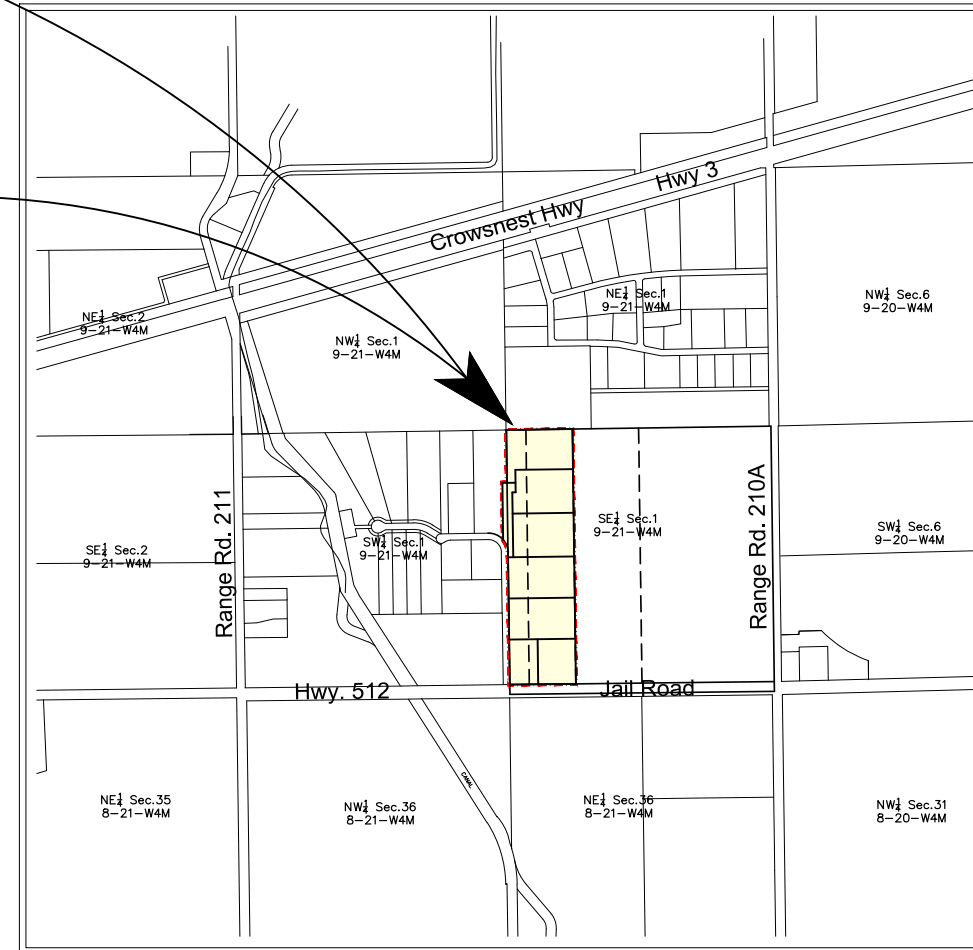
Country Side Subdivision

STORMWATER MANAGEMENT PLAN

Lethbridge County



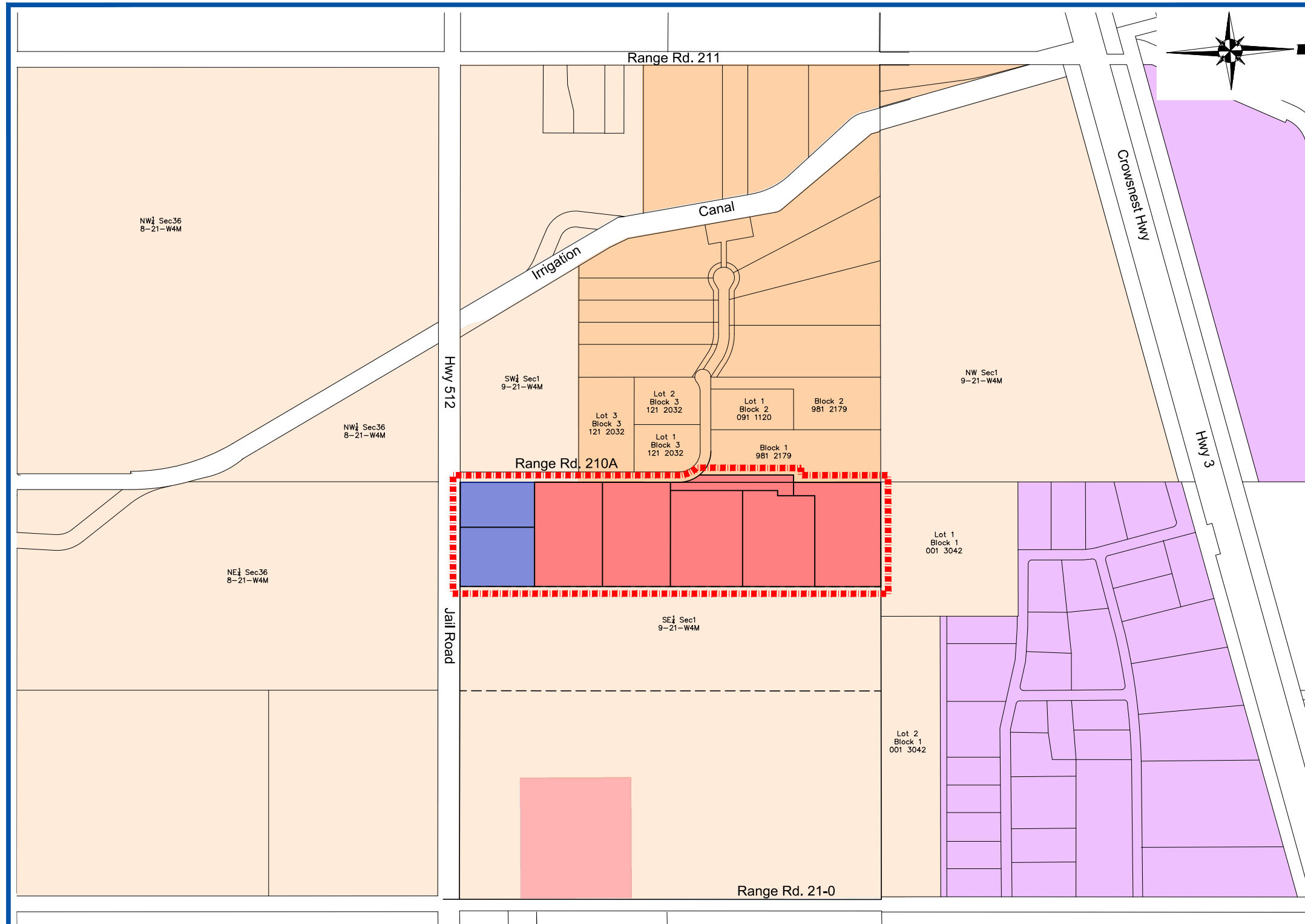
SUBDIVISION DETAIL
SCALE 1:5000



LOCATION MAP
SCALE 1:20000

DRAWING LIST

DWG. No.	Description
1	PROJECT LOCATION
2	LAND USE
3	PRE-DEVELOPMENT PONDING
4	POST-DEVELOPMENT PONDING



- LEGEND:**
- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - EXISTING:**
 - EXISTING: LETHBRIDGE URBAN FRINGE (LUF)
 - EXISTING: GROUPED COUNTRY RESIDENTIAL (GCR)
 - EXISTING: RURAL GENERAL INDUSTRIAL (RGI)
 - EXISTING: RURAL COMMERCIAL (RC)
 - PROPOSED:**
 - FROM: LETHBRIDGE URBAN FRINGE (RA)
TO: DIRECT CONTROL (DC)
 - FROM: LETHBRIDGE URBAN FRINGE (RA)
TO: GROUPED COUNTRY RESIDENTIAL (GCR)

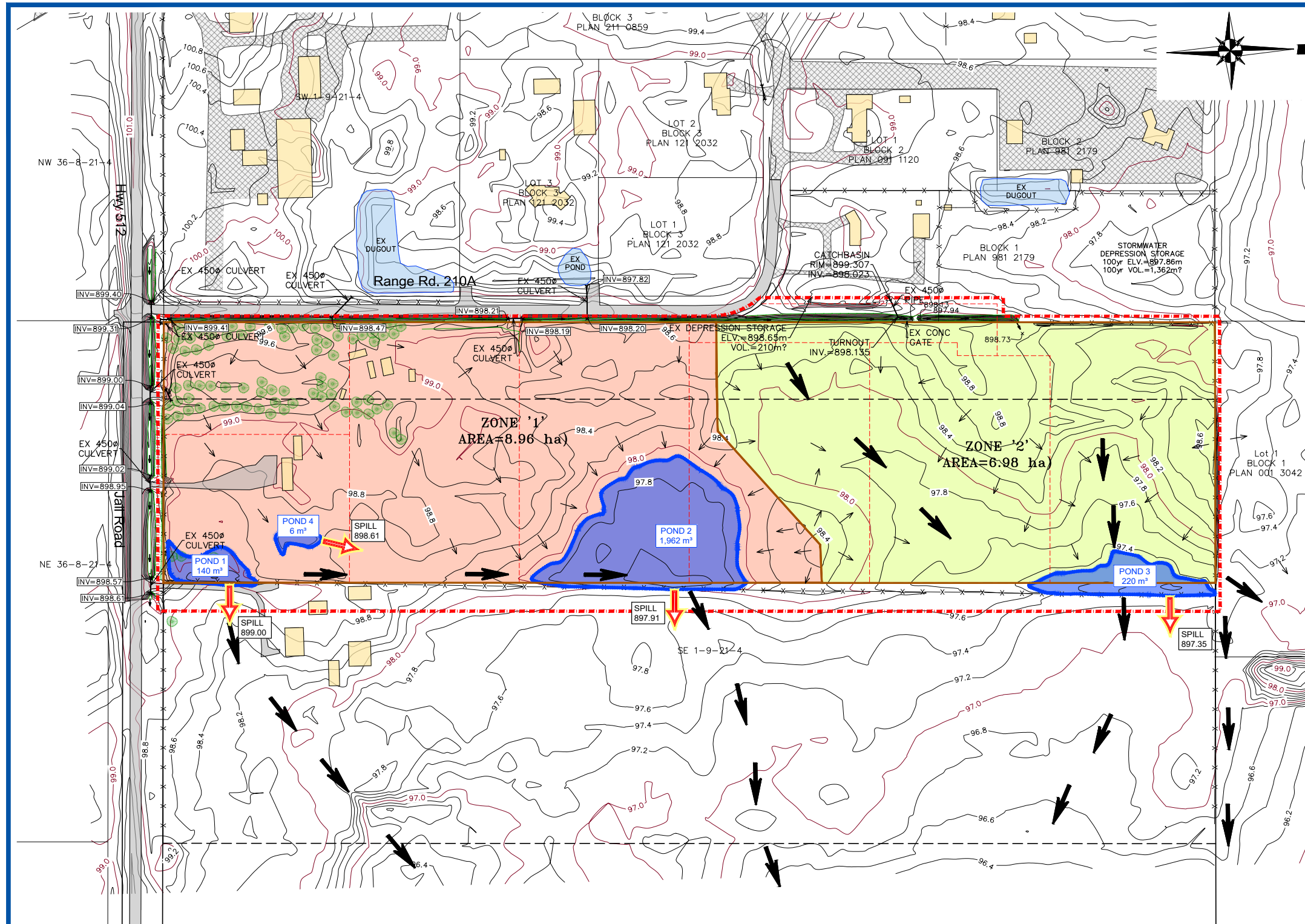
1: 7500

Country Side Subdivision
 STORMWATER MANAGEMENT PLAN
 July 2023

LAND USE
 DRAWING - 2

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 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS



- LEGEND:**
- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - STM ZONE '1' (8.96 ha.)
 - STM ZONE '2' (6.98 ha.)
 - EXISTING STURCTURE/HOUSE
 - EXISTING GRAVEL ROAD
 - SURFACE DRAINAGE ROUT
 - OVERLAND DRAINAGE SYSTEM ROUTE
 - EMERGENCY DRAINAGE SYSTEM ROUTE
 - 99.0 EX MAJOR CONTOUR (1.0m)
 - 99.2 EX MINOR CONTOUR (0.2m)
 - EX TREE
 - EXISTING PONDING

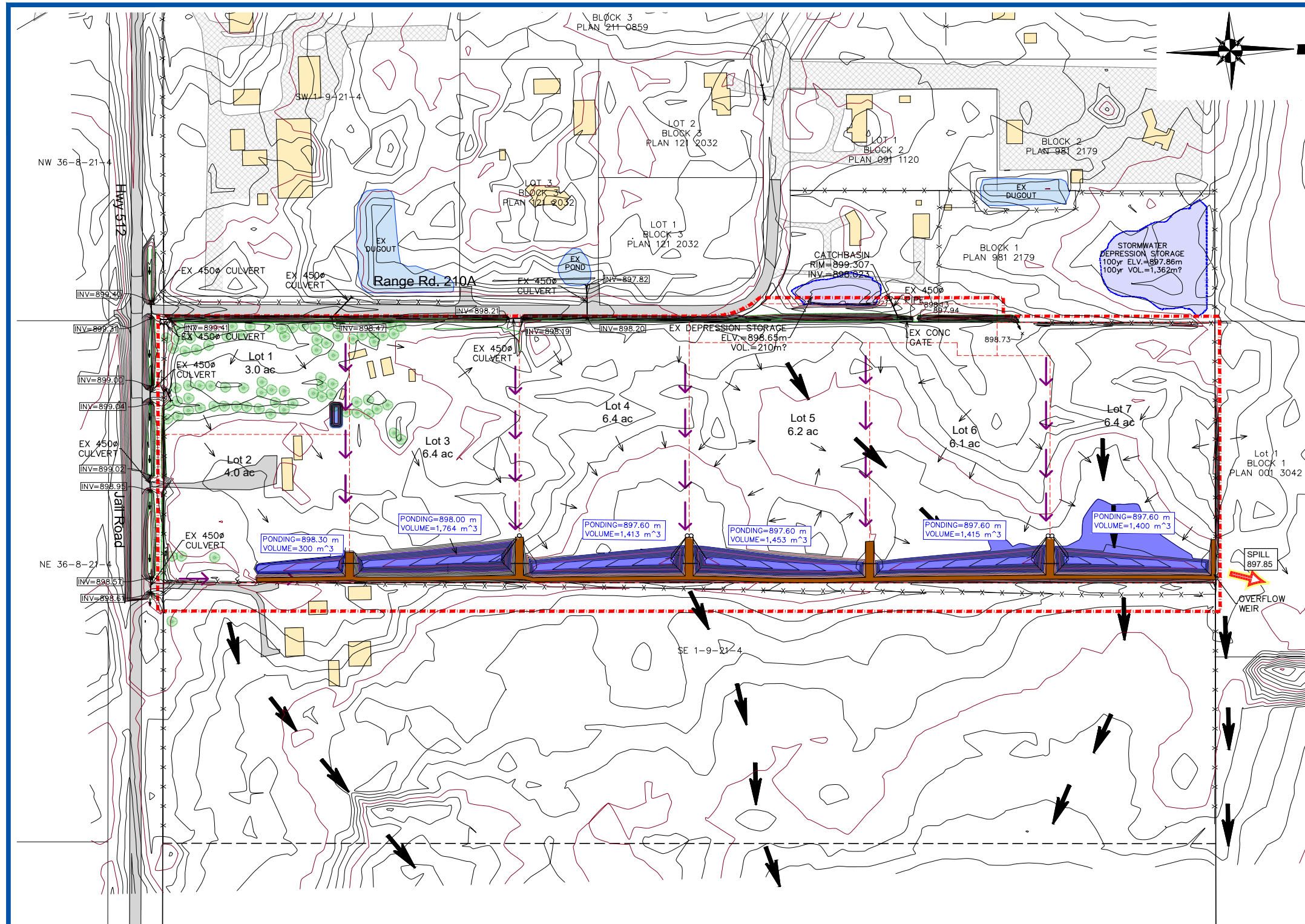
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Country Side Subdivision
STORMWATER MANAGEMENT PLAN
 July 2023

PRE-DEVELOPMENT PONDING
DRAWING - 3

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229729LS



- LEGEND:**
- - - - - AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - EXISTING STURCTURE/HOUSE
 - EXISTING GRAVEL ROAD
 - SURFACE DRAINAGE ROUT
 - OVERLAND DRAINAGE SYSTEM ROUTE
 - EMERGENCY DRAINAGE SYSTEM ROUTE
 - - - - - PROPOSED MAJOR CONTOUR (1.0m)
 - - - - - PROPOSED MINOR CONTOUR (0.2m)
 - EX TREE
 - PROPOSED PONDING
 - OVERFLOW WEIR
 - GRASS SWALE BETWEEN LOTS
 - PROPOSED DUGOUT / POND

1: 3000

Country Side Subdivision
 STORMWATER MANAGEMENT PLAN
 July 2023

POST-DEVELOPMENT PONDING
 DRAWING - 4

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229729LS

Appendix B – Soil Information

STORMWATER MANAGEMENT PLAN
COUNTRY SIDE SUBDIVISION
SE ¼ SEC 1-9-21-W4M
Lethbridge County, Alberta

Report on Soil Polygon: 5861

Variable	Value
POLY_ID	5861
Map Unit Name	LET4/U1h
Landform	U1h - undulating - high relief
LSRS Rating (Spring Grains)	3M(10)



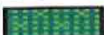

Landscape Model Descriptions:

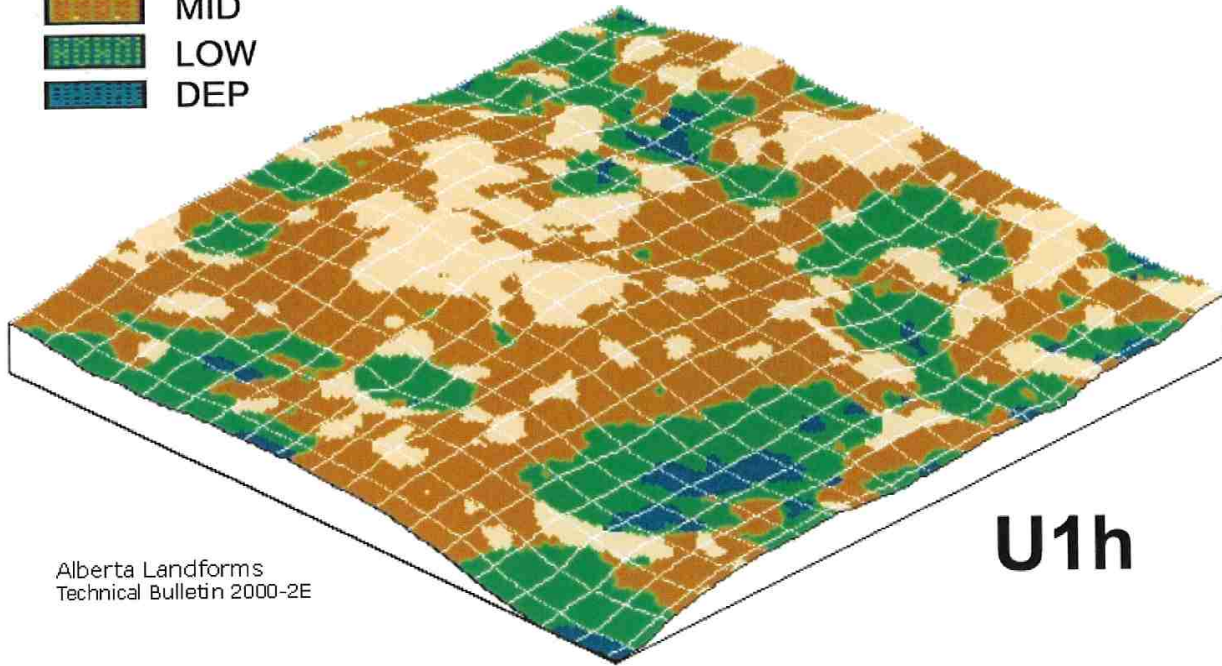
Orthic Dark Brown Chernozem on medium textured (L, SiL) sediments deposited by wind and water (LET).
 The polygon includes soils with Rego profiles (4).
 Undulating, high relief landform with a limiting slope of 4% (U1h).

Image:



Landform Model:

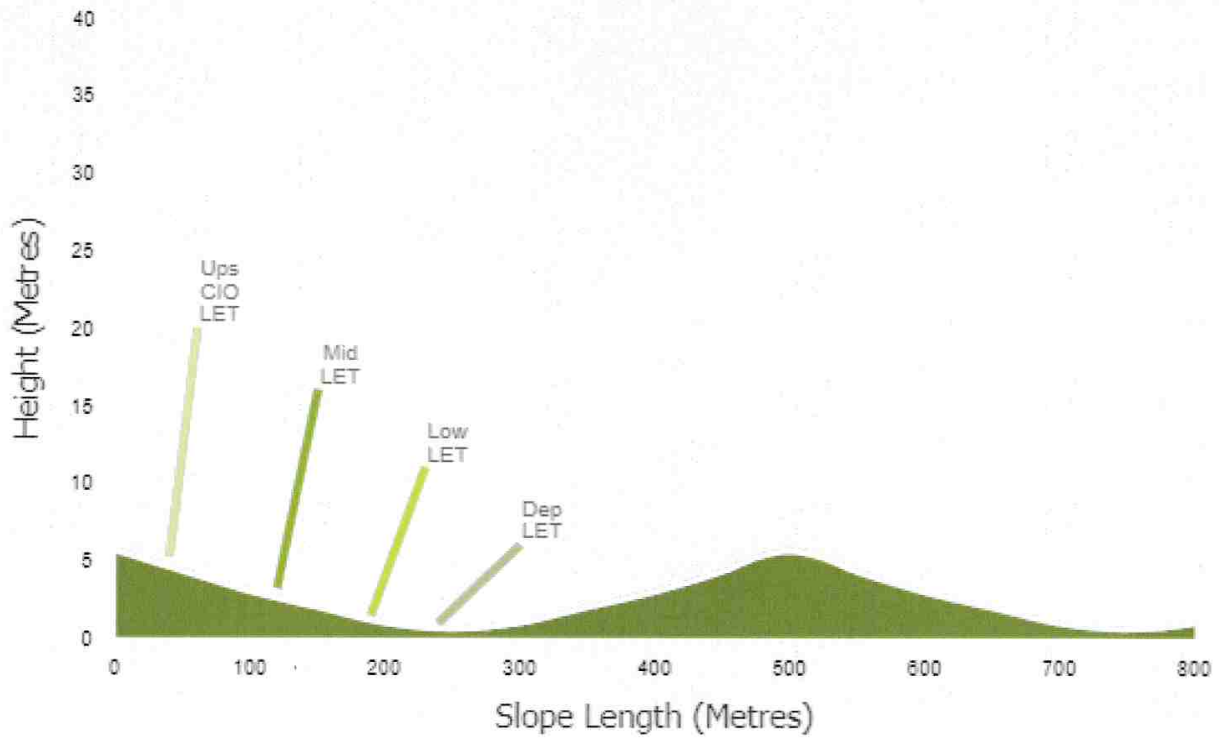
-  UPS
-  MID
-  LOW
-  DEP



Alberta Landforms
Technical Bulletin 2000-2E

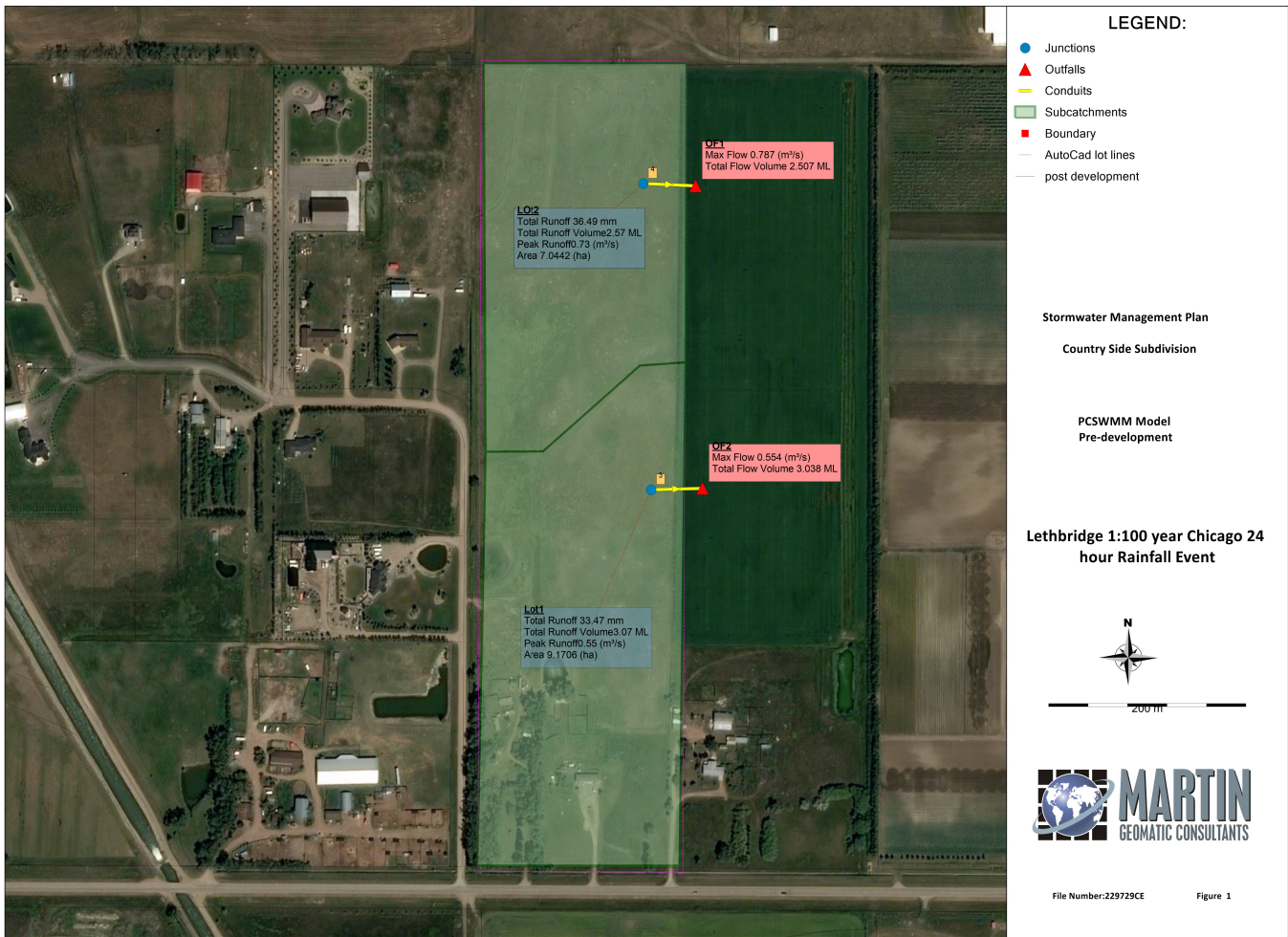
U1h

Landform Profile:



Appendix C – SWMM Model Results

STORMWATER MANAGEMENT PLAN
COUNTRY SIDE SUBDIVISION
SE ¼ SEC 1-9-21-W4M
Lethbridge County, Alberta



Country Side Subdivision
Pre Developmetn 1:100yr 24hr

```
[OPTIONS]
;;Option      Value
FLOW_UNITS    CMS
INFILTRATION  GREEN_AMPT
FLOW_ROUTING  DYNWAVE
LINK_OFFSETS  DEPTH
MIN_SLOPE     0
ALLOW_PONDING NO
SKIP_STEADY_STATE NO

START_DATE    03/28/2022
START_TIME    00:00:00
REPORT_START_DATE 03/28/2022
REPORT_START_TIME 00:00:00
END_DATE      03/29/2022
END_TIME      00:00:00
SWEEP_START   01/01
SWEEP_END     12/31
DRY_DAYS      0
REPORT_STEP   00:01:00
WET_STEP      00:01:00
DRY_STEP      00:05:00
ROUTING_STEP  5
RULE_STEP     00:00:00

INERTIAL_DAMPING PARTIAL
NORMAL_FLOW_LIMITED BOTH
FORCE_MAIN_EQUATION H-W
VARIABLE_STEP    0.75
LENGTHENING_STEP 0
MIN_SURFAREA     0
MAX_TRIALS       8
HEAD_TOLERANCE   0.0015
SYS_FLOW_TOL     5
LAT_FLOW_TOL     5
MINIMUM_STEP     0.5
THREADS          4
```



```

[EVAPORATION]
;;Data Source      Parameters
;;-----
CONSTANT           0.0
DRY_ONLY           NO

[RAINGAGES]
;;Name             Format   Interval SCF      Source
;;-----
Lethbridge_1:100year_Chicago_24h INTENSITY 0:05      1.0      TIMESERIES Lethbridge_1:100year_Chicago_24h
Lethbridge_100year_Chicago_4h INTENSITY 0:05      1.0      TIMESERIES Lethbridge_100year_Chicago_4h
Lethbridge_5year_Chicago_4h INTENSITY 0:05      1.0      TIMESERIES Lethbridge_5year_Chicago_4h

[SUBCATCHMENTS]
;;Name             Rain Gage      Outlet          Area      %Imperv  Width  %Slope  CurbLen  SnowPack
;;-----
Lot1               Lethbridge_1:100year_Chicago_24h 3 9.1706  0        416.845  0.6    0
Lot2               Lethbridge_1:100year_Chicago_24h 4 7.0442  0        704.42   0.5    0

[SUBAREAS]
;;Subcatchment    N-Imperv  N-Perv   S-Imperv  S-Perv   PctZero  RouteTo  PctRouted
;;-----
Lot1              0.013    0.15    0.45     5        25       OUTLET
Lot2              0.013    0.15    0.45     5        25       OUTLET

[INFILTRATION]
;;Subcatchment    Param1     Param2     Param3     Param4     Param5
;;-----
Lot1              127.9     5          0.36     0          0
Lot2              127.9     5          0.36     0          0

[JUNCTIONS]
;;Name            Elevation  MaxDepth  InitDepth  SurDepth  Aponded
;;-----
3                 897.6     1.2       0          0          0
4                 897.2     1.3       0          0          0

[OUTFALLS]
;;Name            Elevation  Type      Stage Data  Gated  Route To
;;-----
OF1              897.8     FREE
OF2              897.9     FREE

```

```

[CONDUITS]
;;Name      From Node      To Node      Length      Roughness  InOffset  OutOffset  InitFlow  MaxFlow
;;-----
-
1           4              OF1          53.323     0.01      0         0         0         0
2           3              OF2          52.149     0.013     0         0         0         0

[XSECTIONS]
;;Link      Shape      Geom1      Geom2      Geom3      Geom4      Barrels  Culvert
;;-----
1           RECT_OPEN  1          4          0          0          1
2           RECT_OPEN  1          4          0          0          1

[LOSSES]
;;Link      Kentry      Kexit      Kavg      Flap Gate  Seepage
;;-----

[CURVES]
;;Name      Type      X-Value      Y-Value
;;-----
;lot 3 pond
pondnorth  Storage  0            0.6
pondnorth  Storage  0.1          89
pondnorth  Storage  0.2          307
pondnorth  Storage  0.3          568
pondnorth  Storage  0.4          848
pondnorth  Storage  0.5          1149
pondnorth  Storage  0.6          1448
pondnorth  Storage  0.7          1718
pondnorth  Storage  0.8          1959
pondnorth  Storage  0.9          2175
pondnorth  Storage  1            2370
pondnorth  Storage  1.33        23685

pondsouth2 Storage  0            0.6
pondsouth2 Storage  0.1          12
pondsouth2 Storage  0.2          49.4
pondsouth2 Storage  0.3          107
pondsouth2 Storage  0.4          185
pondsouth2 Storage  0.5          287
pondsouth2 Storage  0.6          425

```

pondsouth2	0.7	636
pondsouth2	0.8	917
pondsouth2	0.9	1267
pondsouth2	1	1721
pondsouth2	1.4	7263
Road_Default_Trapped_Low Storage	0	0.636
Road_Default_Trapped_Low	1.2	0.636
Road_Default_Trapped_Low	1.6	1000
Road_Default_Trapped_Low2 Storage	0	0.6
Road_Default_Trapped_Low2	1.2	0.6
Road_Default_Trapped_Low2	1.3	3000
Road_Default_Trapped_Low2	1.6	4500
Waterfront_Dry_Pond Storage	0	156.7
Waterfront_Dry_Pond	0.2	236.1
Waterfront_Dry_Pond	0.4	335.5
Waterfront_Dry_Pond	0.6	458.4
Waterfront_Dry_Pond	0.8	601.2
Waterfront_Dry_Pond	1	763.6
Waterfront_Dry_Pond	1.2	945.4
Waterfront_Dry_Pond	1.4	1147.1
Waterfront_Dry_Pond	1.6	1370.2
Waterfront_Dry_Pond	1.8	1628.2
Waterfront_Dry_Pond	2	2002.8
Waterfront_Dry_Pond	2.2	2597.1
Waterfront_Pond Storage	0	6533
Waterfront_Pond	0.2	6750
Waterfront_Pond	0.4	6957
Waterfront_Pond	0.6	7167
Waterfront_Pond	0.8	7381
Waterfront_Pond	1	7597
Waterfront_Pond	1.2	7811
Waterfront_Pond	1.4	8027
Waterfront_Pond	1.6	8146
Waterfront_Pond	1.8	8470
Waterfront_Pond	2	8696
Waterfront_Pond	2.2	9041
Waterfront_Pond	2.4	9392

Waterfront_Pond	2.6	9751
Waterfront_Pond	2.8	10117
Waterfront_Pond	3	10490
Waterfront_Pond	3.2	10870
Waterfront_Pond	3.4	11257
Waterfront_Pond	3.6	11651
Waterfront_Pond	3.8	12053
Waterfront_Pond	4	12461
Waterfront_Pond	4.2	12877
Waterfront_Pond	4.4	13300
Waterfront_Pond	4.6	13731
Waterfront_Pond	4.8	14165

[TIMESERIES]

;;Name	Date	Time	Value
--------	------	------	-------

;;-----

;Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 1440 minutes, r = 0.3, rain units = mm/hr.

Lethbridge_1:100year_Chicago_24h	0:00	1.352
Lethbridge_1:100year_Chicago_24h	0:05	1.364
Lethbridge_1:100year_Chicago_24h	0:10	1.376
Lethbridge_1:100year_Chicago_24h	0:15	1.388
Lethbridge_1:100year_Chicago_24h	0:20	1.4
Lethbridge_1:100year_Chicago_24h	0:25	1.413
Lethbridge_1:100year_Chicago_24h	0:30	1.426
Lethbridge_1:100year_Chicago_24h	0:35	1.439
Lethbridge_1:100year_Chicago_24h	0:40	1.453
Lethbridge_1:100year_Chicago_24h	0:45	1.466
Lethbridge_1:100year_Chicago_24h	0:50	1.48
Lethbridge_1:100year_Chicago_24h	0:55	1.495
Lethbridge_1:100year_Chicago_24h	1:00	1.51
Lethbridge_1:100year_Chicago_24h	1:05	1.525
Lethbridge_1:100year_Chicago_24h	1:10	1.54
Lethbridge_1:100year_Chicago_24h	1:15	1.556
Lethbridge_1:100year_Chicago_24h	1:20	1.572
Lethbridge_1:100year_Chicago_24h	1:25	1.589
Lethbridge_1:100year_Chicago_24h	1:30	1.606
Lethbridge_1:100year_Chicago_24h	1:35	1.624
Lethbridge_1:100year_Chicago_24h	1:40	1.641
Lethbridge_1:100year_Chicago_24h	1:45	1.66
Lethbridge_1:100year_Chicago_24h	1:50	1.679
Lethbridge_1:100year_Chicago_24h	1:55	1.698

Lethbridge_1:100year_Chicago_24h	2:00	1.718
Lethbridge_1:100year_Chicago_24h	2:05	1.739
Lethbridge_1:100year_Chicago_24h	2:10	1.76
Lethbridge_1:100year_Chicago_24h	2:15	1.782
Lethbridge_1:100year_Chicago_24h	2:20	1.804
Lethbridge_1:100year_Chicago_24h	2:25	1.828
Lethbridge_1:100year_Chicago_24h	2:30	1.851
Lethbridge_1:100year_Chicago_24h	2:35	1.876
Lethbridge_1:100year_Chicago_24h	2:40	1.901
Lethbridge_1:100year_Chicago_24h	2:45	1.928
Lethbridge_1:100year_Chicago_24h	2:50	1.955
Lethbridge_1:100year_Chicago_24h	2:55	1.983
Lethbridge_1:100year_Chicago_24h	3:00	2.012
Lethbridge_1:100year_Chicago_24h	3:05	2.042
Lethbridge_1:100year_Chicago_24h	3:10	2.073
Lethbridge_1:100year_Chicago_24h	3:15	2.105
Lethbridge_1:100year_Chicago_24h	3:20	2.138
Lethbridge_1:100year_Chicago_24h	3:25	2.173
Lethbridge_1:100year_Chicago_24h	3:30	2.209
Lethbridge_1:100year_Chicago_24h	3:35	2.247
Lethbridge_1:100year_Chicago_24h	3:40	2.286
Lethbridge_1:100year_Chicago_24h	3:45	2.326
Lethbridge_1:100year_Chicago_24h	3:50	2.369
Lethbridge_1:100year_Chicago_24h	3:55	2.413
Lethbridge_1:100year_Chicago_24h	4:00	2.46
Lethbridge_1:100year_Chicago_24h	4:05	2.508
Lethbridge_1:100year_Chicago_24h	4:10	2.559
Lethbridge_1:100year_Chicago_24h	4:15	2.612
Lethbridge_1:100year_Chicago_24h	4:20	2.669
Lethbridge_1:100year_Chicago_24h	4:25	2.728
Lethbridge_1:100year_Chicago_24h	4:30	2.79
Lethbridge_1:100year_Chicago_24h	4:35	2.856
Lethbridge_1:100year_Chicago_24h	4:40	2.925
Lethbridge_1:100year_Chicago_24h	4:45	2.999
Lethbridge_1:100year_Chicago_24h	4:50	3.077
Lethbridge_1:100year_Chicago_24h	4:55	3.16
Lethbridge_1:100year_Chicago_24h	5:00	3.249
Lethbridge_1:100year_Chicago_24h	5:05	3.344
Lethbridge_1:100year_Chicago_24h	5:10	3.446
Lethbridge_1:100year_Chicago_24h	5:15	3.555
Lethbridge_1:100year_Chicago_24h	5:20	3.673

Lethbridge_1:100year_Chicago_24h	5:25	3.801
Lethbridge_1:100year_Chicago_24h	5:30	3.939
Lethbridge_1:100year_Chicago_24h	5:35	4.091
Lethbridge_1:100year_Chicago_24h	5:40	4.257
Lethbridge_1:100year_Chicago_24h	5:45	4.44
Lethbridge_1:100year_Chicago_24h	5:50	4.642
Lethbridge_1:100year_Chicago_24h	5:55	4.868
Lethbridge_1:100year_Chicago_24h	6:00	5.122
Lethbridge_1:100year_Chicago_24h	6:05	5.409
Lethbridge_1:100year_Chicago_24h	6:10	5.738
Lethbridge_1:100year_Chicago_24h	6:15	6.119
Lethbridge_1:100year_Chicago_24h	6:20	6.565
Lethbridge_1:100year_Chicago_24h	6:25	7.098
Lethbridge_1:100year_Chicago_24h	6:30	7.745
Lethbridge_1:100year_Chicago_24h	6:35	8.553
Lethbridge_1:100year_Chicago_24h	6:40	9.594
Lethbridge_1:100year_Chicago_24h	6:45	10.997
Lethbridge_1:100year_Chicago_24h	6:50	13.01
Lethbridge_1:100year_Chicago_24h	6:55	16.203
Lethbridge_1:100year_Chicago_24h	7:00	22.264
Lethbridge_1:100year_Chicago_24h	7:05	40.822
Lethbridge_1:100year_Chicago_24h	7:10	314.277
Lethbridge_1:100year_Chicago_24h	7:15	62.374
Lethbridge_1:100year_Chicago_24h	7:20	38.336
Lethbridge_1:100year_Chicago_24h	7:25	28.645
Lethbridge_1:100year_Chicago_24h	7:30	23.295
Lethbridge_1:100year_Chicago_24h	7:35	19.837
Lethbridge_1:100year_Chicago_24h	7:40	17.393
Lethbridge_1:100year_Chicago_24h	7:45	15.56
Lethbridge_1:100year_Chicago_24h	7:50	14.128
Lethbridge_1:100year_Chicago_24h	7:55	12.973
Lethbridge_1:100year_Chicago_24h	8:00	12.02
Lethbridge_1:100year_Chicago_24h	8:05	11.217
Lethbridge_1:100year_Chicago_24h	8:10	10.531
Lethbridge_1:100year_Chicago_24h	8:15	9.937
Lethbridge_1:100year_Chicago_24h	8:20	9.416
Lethbridge_1:100year_Chicago_24h	8:25	8.956
Lethbridge_1:100year_Chicago_24h	8:30	8.545
Lethbridge_1:100year_Chicago_24h	8:35	8.177
Lethbridge_1:100year_Chicago_24h	8:40	7.844
Lethbridge_1:100year_Chicago_24h	8:45	7.542

Lethbridge_1:100year_Chicago_24h	8:50	7.265
Lethbridge_1:100year_Chicago_24h	8:55	7.012
Lethbridge_1:100year_Chicago_24h	9:00	6.778
Lethbridge_1:100year_Chicago_24h	9:05	6.563
Lethbridge_1:100year_Chicago_24h	9:10	6.362
Lethbridge_1:100year_Chicago_24h	9:15	6.176
Lethbridge_1:100year_Chicago_24h	9:20	6.002
Lethbridge_1:100year_Chicago_24h	9:25	5.839
Lethbridge_1:100year_Chicago_24h	9:30	5.687
Lethbridge_1:100year_Chicago_24h	9:35	5.543
Lethbridge_1:100year_Chicago_24h	9:40	5.408
Lethbridge_1:100year_Chicago_24h	9:45	5.28
Lethbridge_1:100year_Chicago_24h	9:50	5.159
Lethbridge_1:100year_Chicago_24h	9:55	5.045
Lethbridge_1:100year_Chicago_24h	10:00	4.936
Lethbridge_1:100year_Chicago_24h	10:05	4.833
Lethbridge_1:100year_Chicago_24h	10:10	4.735
Lethbridge_1:100year_Chicago_24h	10:15	4.641
Lethbridge_1:100year_Chicago_24h	10:20	4.552
Lethbridge_1:100year_Chicago_24h	10:25	4.466
Lethbridge_1:100year_Chicago_24h	10:30	4.385
Lethbridge_1:100year_Chicago_24h	10:35	4.307
Lethbridge_1:100year_Chicago_24h	10:40	4.231
Lethbridge_1:100year_Chicago_24h	10:45	4.159
Lethbridge_1:100year_Chicago_24h	10:50	4.09
Lethbridge_1:100year_Chicago_24h	10:55	4.024
Lethbridge_1:100year_Chicago_24h	11:00	3.96
Lethbridge_1:100year_Chicago_24h	11:05	3.898
Lethbridge_1:100year_Chicago_24h	11:10	3.839
Lethbridge_1:100year_Chicago_24h	11:15	3.781
Lethbridge_1:100year_Chicago_24h	11:20	3.726
Lethbridge_1:100year_Chicago_24h	11:25	3.673
Lethbridge_1:100year_Chicago_24h	11:30	3.621
Lethbridge_1:100year_Chicago_24h	11:35	3.571
Lethbridge_1:100year_Chicago_24h	11:40	3.523
Lethbridge_1:100year_Chicago_24h	11:45	3.476
Lethbridge_1:100year_Chicago_24h	11:50	3.43
Lethbridge_1:100year_Chicago_24h	11:55	3.386
Lethbridge_1:100year_Chicago_24h	12:00	3.344
Lethbridge_1:100year_Chicago_24h	12:05	3.302
Lethbridge_1:100year_Chicago_24h	12:10	3.262

Lethbridge_1:100year_Chicago_24h	12:15	3.223
Lethbridge_1:100year_Chicago_24h	12:20	3.185
Lethbridge_1:100year_Chicago_24h	12:25	3.148
Lethbridge_1:100year_Chicago_24h	12:30	3.112
Lethbridge_1:100year_Chicago_24h	12:35	3.077
Lethbridge_1:100year_Chicago_24h	12:40	3.043
Lethbridge_1:100year_Chicago_24h	12:45	3.01
Lethbridge_1:100year_Chicago_24h	12:50	2.977
Lethbridge_1:100year_Chicago_24h	12:55	2.946
Lethbridge_1:100year_Chicago_24h	13:00	2.915
Lethbridge_1:100year_Chicago_24h	13:05	2.885
Lethbridge_1:100year_Chicago_24h	13:10	2.856
Lethbridge_1:100year_Chicago_24h	13:15	2.827
Lethbridge_1:100year_Chicago_24h	13:20	2.799
Lethbridge_1:100year_Chicago_24h	13:25	2.772
Lethbridge_1:100year_Chicago_24h	13:30	2.745
Lethbridge_1:100year_Chicago_24h	13:35	2.719
Lethbridge_1:100year_Chicago_24h	13:40	2.693
Lethbridge_1:100year_Chicago_24h	13:45	2.669
Lethbridge_1:100year_Chicago_24h	13:50	2.644
Lethbridge_1:100year_Chicago_24h	13:55	2.62
Lethbridge_1:100year_Chicago_24h	14:00	2.597
Lethbridge_1:100year_Chicago_24h	14:05	2.574
Lethbridge_1:100year_Chicago_24h	14:10	2.552
Lethbridge_1:100year_Chicago_24h	14:15	2.53
Lethbridge_1:100year_Chicago_24h	14:20	2.508
Lethbridge_1:100year_Chicago_24h	14:25	2.487
Lethbridge_1:100year_Chicago_24h	14:30	2.466
Lethbridge_1:100year_Chicago_24h	14:35	2.446
Lethbridge_1:100year_Chicago_24h	14:40	2.426
Lethbridge_1:100year_Chicago_24h	14:45	2.407
Lethbridge_1:100year_Chicago_24h	14:50	2.388
Lethbridge_1:100year_Chicago_24h	14:55	2.369
Lethbridge_1:100year_Chicago_24h	15:00	2.35
Lethbridge_1:100year_Chicago_24h	15:05	2.332
Lethbridge_1:100year_Chicago_24h	15:10	2.315
Lethbridge_1:100year_Chicago_24h	15:15	2.297
Lethbridge_1:100year_Chicago_24h	15:20	2.28
Lethbridge_1:100year_Chicago_24h	15:25	2.263
Lethbridge_1:100year_Chicago_24h	15:30	2.247
Lethbridge_1:100year_Chicago_24h	15:35	2.23

Lethbridge_1:100year_Chicago_24h	15:40	2.214
Lethbridge_1:100year_Chicago_24h	15:45	2.199
Lethbridge_1:100year_Chicago_24h	15:50	2.183
Lethbridge_1:100year_Chicago_24h	15:55	2.168
Lethbridge_1:100year_Chicago_24h	16:00	2.153
Lethbridge_1:100year_Chicago_24h	16:05	2.138
Lethbridge_1:100year_Chicago_24h	16:10	2.124
Lethbridge_1:100year_Chicago_24h	16:15	2.11
Lethbridge_1:100year_Chicago_24h	16:20	2.095
Lethbridge_1:100year_Chicago_24h	16:25	2.082
Lethbridge_1:100year_Chicago_24h	16:30	2.068
Lethbridge_1:100year_Chicago_24h	16:35	2.055
Lethbridge_1:100year_Chicago_24h	16:40	2.042
Lethbridge_1:100year_Chicago_24h	16:45	2.029
Lethbridge_1:100year_Chicago_24h	16:50	2.016
Lethbridge_1:100year_Chicago_24h	16:55	2.003
Lethbridge_1:100year_Chicago_24h	17:00	1.991
Lethbridge_1:100year_Chicago_24h	17:05	1.979
Lethbridge_1:100year_Chicago_24h	17:10	1.966
Lethbridge_1:100year_Chicago_24h	17:15	1.955
Lethbridge_1:100year_Chicago_24h	17:20	1.943
Lethbridge_1:100year_Chicago_24h	17:25	1.931
Lethbridge_1:100year_Chicago_24h	17:30	1.92
Lethbridge_1:100year_Chicago_24h	17:35	1.909
Lethbridge_1:100year_Chicago_24h	17:40	1.898
Lethbridge_1:100year_Chicago_24h	17:45	1.887
Lethbridge_1:100year_Chicago_24h	17:50	1.876
Lethbridge_1:100year_Chicago_24h	17:55	1.865
Lethbridge_1:100year_Chicago_24h	18:00	1.855
Lethbridge_1:100year_Chicago_24h	18:05	1.844
Lethbridge_1:100year_Chicago_24h	18:10	1.834
Lethbridge_1:100year_Chicago_24h	18:15	1.824
Lethbridge_1:100year_Chicago_24h	18:20	1.814
Lethbridge_1:100year_Chicago_24h	18:25	1.804
Lethbridge_1:100year_Chicago_24h	18:30	1.795
Lethbridge_1:100year_Chicago_24h	18:35	1.785
Lethbridge_1:100year_Chicago_24h	18:40	1.776
Lethbridge_1:100year_Chicago_24h	18:45	1.766
Lethbridge_1:100year_Chicago_24h	18:50	1.757
Lethbridge_1:100year_Chicago_24h	18:55	1.748
Lethbridge_1:100year_Chicago_24h	19:00	1.739

Lethbridge_1:100year_Chicago_24h	19:05	1.73
Lethbridge_1:100year_Chicago_24h	19:10	1.721
Lethbridge_1:100year_Chicago_24h	19:15	1.713
Lethbridge_1:100year_Chicago_24h	19:20	1.704
Lethbridge_1:100year_Chicago_24h	19:25	1.696
Lethbridge_1:100year_Chicago_24h	19:30	1.687
Lethbridge_1:100year_Chicago_24h	19:35	1.679
Lethbridge_1:100year_Chicago_24h	19:40	1.671
Lethbridge_1:100year_Chicago_24h	19:45	1.663
Lethbridge_1:100year_Chicago_24h	19:50	1.655
Lethbridge_1:100year_Chicago_24h	19:55	1.647
Lethbridge_1:100year_Chicago_24h	20:00	1.639
Lethbridge_1:100year_Chicago_24h	20:05	1.631
Lethbridge_1:100year_Chicago_24h	20:10	1.624
Lethbridge_1:100year_Chicago_24h	20:15	1.616
Lethbridge_1:100year_Chicago_24h	20:20	1.608
Lethbridge_1:100year_Chicago_24h	20:25	1.601
Lethbridge_1:100year_Chicago_24h	20:30	1.594
Lethbridge_1:100year_Chicago_24h	20:35	1.587
Lethbridge_1:100year_Chicago_24h	20:40	1.579
Lethbridge_1:100year_Chicago_24h	20:45	1.572
Lethbridge_1:100year_Chicago_24h	20:50	1.565
Lethbridge_1:100year_Chicago_24h	20:55	1.558
Lethbridge_1:100year_Chicago_24h	21:00	1.551
Lethbridge_1:100year_Chicago_24h	21:05	1.545
Lethbridge_1:100year_Chicago_24h	21:10	1.538
Lethbridge_1:100year_Chicago_24h	21:15	1.531
Lethbridge_1:100year_Chicago_24h	21:20	1.525
Lethbridge_1:100year_Chicago_24h	21:25	1.518
Lethbridge_1:100year_Chicago_24h	21:30	1.512
Lethbridge_1:100year_Chicago_24h	21:35	1.505
Lethbridge_1:100year_Chicago_24h	21:40	1.499
Lethbridge_1:100year_Chicago_24h	21:45	1.493
Lethbridge_1:100year_Chicago_24h	21:50	1.487
Lethbridge_1:100year_Chicago_24h	21:55	1.48
Lethbridge_1:100year_Chicago_24h	22:00	1.474
Lethbridge_1:100year_Chicago_24h	22:05	1.468
Lethbridge_1:100year_Chicago_24h	22:10	1.462
Lethbridge_1:100year_Chicago_24h	22:15	1.456
Lethbridge_1:100year_Chicago_24h	22:20	1.451
Lethbridge_1:100year_Chicago_24h	22:25	1.445

Lethbridge_1:100year_Chicago_24h	22:30	1.439
Lethbridge_1:100year_Chicago_24h	22:35	1.433
Lethbridge_1:100year_Chicago_24h	22:40	1.428
Lethbridge_1:100year_Chicago_24h	22:45	1.422
Lethbridge_1:100year_Chicago_24h	22:50	1.417
Lethbridge_1:100year_Chicago_24h	22:55	1.411
Lethbridge_1:100year_Chicago_24h	23:00	1.406
Lethbridge_1:100year_Chicago_24h	23:05	1.4
Lethbridge_1:100year_Chicago_24h	23:10	1.395
Lethbridge_1:100year_Chicago_24h	23:15	1.39
Lethbridge_1:100year_Chicago_24h	23:20	1.384
Lethbridge_1:100year_Chicago_24h	23:25	1.379
Lethbridge_1:100year_Chicago_24h	23:30	1.374
Lethbridge_1:100year_Chicago_24h	23:35	1.369
Lethbridge_1:100year_Chicago_24h	23:40	1.364
Lethbridge_1:100year_Chicago_24h	23:45	1.359
Lethbridge_1:100year_Chicago_24h	23:50	1.354
Lethbridge_1:100year_Chicago_24h	23:55	1.349
Lethbridge_1:100year_Chicago_24h	24:00	0

;Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 240 minutes, r = 0.3, rain units = mm/hr.

Lethbridge_100year_Chicago_4h	0:00	5.122
Lethbridge_100year_Chicago_4h	0:05	5.409
Lethbridge_100year_Chicago_4h	0:10	5.738
Lethbridge_100year_Chicago_4h	0:15	6.119
Lethbridge_100year_Chicago_4h	0:20	6.565
Lethbridge_100year_Chicago_4h	0:25	7.098
Lethbridge_100year_Chicago_4h	0:30	7.745
Lethbridge_100year_Chicago_4h	0:35	8.553
Lethbridge_100year_Chicago_4h	0:40	9.594
Lethbridge_100year_Chicago_4h	0:45	10.997
Lethbridge_100year_Chicago_4h	0:50	13.01
Lethbridge_100year_Chicago_4h	0:55	16.203
Lethbridge_100year_Chicago_4h	1:00	22.264
Lethbridge_100year_Chicago_4h	1:05	40.822
Lethbridge_100year_Chicago_4h	1:10	314.277
Lethbridge_100year_Chicago_4h	1:15	62.374
Lethbridge_100year_Chicago_4h	1:20	38.336
Lethbridge_100year_Chicago_4h	1:25	28.645
Lethbridge_100year_Chicago_4h	1:30	23.295
Lethbridge_100year_Chicago_4h	1:35	19.837

Lethbridge_100year_Chicago_4h	1:40	17.393
Lethbridge_100year_Chicago_4h	1:45	15.56
Lethbridge_100year_Chicago_4h	1:50	14.128
Lethbridge_100year_Chicago_4h	1:55	12.973
Lethbridge_100year_Chicago_4h	2:00	12.02
Lethbridge_100year_Chicago_4h	2:05	11.217
Lethbridge_100year_Chicago_4h	2:10	10.531
Lethbridge_100year_Chicago_4h	2:15	9.937
Lethbridge_100year_Chicago_4h	2:20	9.416
Lethbridge_100year_Chicago_4h	2:25	8.956
Lethbridge_100year_Chicago_4h	2:30	8.545
Lethbridge_100year_Chicago_4h	2:35	8.177
Lethbridge_100year_Chicago_4h	2:40	7.844
Lethbridge_100year_Chicago_4h	2:45	7.542
Lethbridge_100year_Chicago_4h	2:50	7.265
Lethbridge_100year_Chicago_4h	2:55	7.012
Lethbridge_100year_Chicago_4h	3:00	6.778
Lethbridge_100year_Chicago_4h	3:05	6.563
Lethbridge_100year_Chicago_4h	3:10	6.362
Lethbridge_100year_Chicago_4h	3:15	6.176
Lethbridge_100year_Chicago_4h	3:20	6.002
Lethbridge_100year_Chicago_4h	3:25	5.839
Lethbridge_100year_Chicago_4h	3:30	5.687
Lethbridge_100year_Chicago_4h	3:35	5.543
Lethbridge_100year_Chicago_4h	3:40	5.408
Lethbridge_100year_Chicago_4h	3:45	5.28
Lethbridge_100year_Chicago_4h	3:50	5.159
Lethbridge_100year_Chicago_4h	3:55	5.045
Lethbridge_100year_Chicago_4h	4:00	0
Lethbridge_5year_Chicago_4h	0:00	3.028
Lethbridge_5year_Chicago_4h	0:05	3.19
Lethbridge_5year_Chicago_4h	0:10	3.374
Lethbridge_5year_Chicago_4h	0:15	3.587
Lethbridge_5year_Chicago_4h	0:20	3.836
Lethbridge_5year_Chicago_4h	0:25	4.131
Lethbridge_5year_Chicago_4h	0:30	4.489
Lethbridge_5year_Chicago_4h	0:35	4.934
Lethbridge_5year_Chicago_4h	0:40	5.504
Lethbridge_5year_Chicago_4h	0:45	6.268
Lethbridge_5year_Chicago_4h	0:50	7.356

Lethbridge_5year_Chicago_4h	0:55	9.064
Lethbridge_5year_Chicago_4h	1:00	12.265
Lethbridge_5year_Chicago_4h	1:05	21.818
Lethbridge_5year_Chicago_4h	1:10	143.764
Lethbridge_5year_Chicago_4h	1:15	32.694
Lethbridge_5year_Chicago_4h	1:20	20.578
Lethbridge_5year_Chicago_4h	1:25	15.594
Lethbridge_5year_Chicago_4h	1:30	12.808
Lethbridge_5year_Chicago_4h	1:35	10.992
Lethbridge_5year_Chicago_4h	1:40	9.698
Lethbridge_5year_Chicago_4h	1:45	8.723
Lethbridge_5year_Chicago_4h	1:50	7.957
Lethbridge_5year_Chicago_4h	1:55	7.336
Lethbridge_5year_Chicago_4h	2:00	6.822
Lethbridge_5year_Chicago_4h	2:05	6.388
Lethbridge_5year_Chicago_4h	2:10	6.015
Lethbridge_5year_Chicago_4h	2:15	5.691
Lethbridge_5year_Chicago_4h	2:20	5.407
Lethbridge_5year_Chicago_4h	2:25	5.155
Lethbridge_5year_Chicago_4h	2:30	4.93
Lethbridge_5year_Chicago_4h	2:35	4.727
Lethbridge_5year_Chicago_4h	2:40	4.544
Lethbridge_5year_Chicago_4h	2:45	4.377
Lethbridge_5year_Chicago_4h	2:50	4.224
Lethbridge_5year_Chicago_4h	2:55	4.084
Lethbridge_5year_Chicago_4h	3:00	3.954
Lethbridge_5year_Chicago_4h	3:05	3.834
Lethbridge_5year_Chicago_4h	3:10	3.723
Lethbridge_5year_Chicago_4h	3:15	3.619
Lethbridge_5year_Chicago_4h	3:20	3.522
Lethbridge_5year_Chicago_4h	3:25	3.431
Lethbridge_5year_Chicago_4h	3:30	3.345
Lethbridge_5year_Chicago_4h	3:35	3.265
Lethbridge_5year_Chicago_4h	3:40	3.189
Lethbridge_5year_Chicago_4h	3:45	3.117
Lethbridge_5year_Chicago_4h	3:50	3.049
Lethbridge_5year_Chicago_4h	3:55	2.985
Lethbridge_5year_Chicago_4h	4:00	0

[REPORT]
 ;;Reporting Options

INPUT YES
CONTROLS NO
SUBCATCHMENTS ALL
NODES ALL
LINKS ALL

[TAGS]

[MAP]

DIMENSIONS 375766.3004 5506454.28215 376027.9376 5507330.58285
UNITS Meters

[COORDINATES]

```
;;Node X-Coord Y-Coord
;;-----
3 375963.908 5506865.853
4 375962.802 5507168.233
OF1 376015.992 5507164.647
OF2 376016.045 5506866.076
```

[VERTICES]

```
;;Link X-Coord Y-Coord
;;-----
```

[POLYGONS]

```
;;Subcatchment X-Coord Y-Coord
;;-----
Lot1 375984.255 5506494.114
Lot1 375778.193 5506498.837
Lot1 375796.133 5506907.178
Lot1 375855.017 5506906.222
Lot1 375955.345 5506988.681
Lot1 376001.644 5506990.845
Lot1 375984.255 5506494.114
Lot2 375802.774 5507290.751
Lot2 376009.397 5507286.016
Lot2 376001.644 5506990.836
Lot2 375955.344 5506988.672
Lot2 375855.016 5506906.213
Lot2 375796.133 5506907.169
Lot2 375802.774 5507290.751
```

```
[SYMBOLS]
;;Gage          X-Coord      Y-Coord
;;-----
```

EPA STORM WATER MANAGEMENT MODEL - VERSION 5.1 (Build 5.1.015)

Element Count

Number of rain gages 3
 Number of subcatchments ... 2
 Number of nodes 4
 Number of links 2
 Number of pollutants 0
 Number of land uses 0

Raingage Summary

Name	Data Source	Data Type	Recording Interval
Lethbridge_1:100year_Chicago_24h	Lethbridge_1:100year_Chicago_24h	INTENSITY	5 min.
Lethbridge_100year_Chicago_4h	Lethbridge_100year_Chicago_4h	INTENSITY	5 min.
Lethbridge_5year_Chicago_4h	Lethbridge_5year_Chicago_4h	INTENSITY	5 min.

Subcatchment Summary

Name	Area	Width	%Imperv	%Slope	Rain Gage	Outlet
Lot1	9.17	416.84	0.00	0.6000	Lethbridge_1:100year_Chicago_24h	3
Lot2	7.04	704.42	0.00	0.5000	Lethbridge_1:100year_Chicago_24h	4

Node Summary

Name	Type	Invert Elev.	Max. Depth	Ponded Area	External Inflow
------	------	--------------	------------	-------------	-----------------


```

-----
3          JUNCTION          897.60    1.20    0.0
4          JUNCTION          897.20    1.30    0.0
OF1        OUTFALL          897.80    1.00    0.0
OF2        OUTFALL          897.90    1.00    0.0

```

```

*****
Link Summary
*****

```

Name	From Node	To Node	Type	Length	%Slope	Roughness
1	4	OF1	CONDUIT	53.3	-1.1253	0.0100
2	3	OF2	CONDUIT	52.1	-0.5753	0.0130

```

*****
Cross Section Summary
*****

```

Conduit	Shape	Full Depth	Full Area	Hyd. Rad.	Max. Width	No. of Barrels	Full Flow
1	RECT_OPEN	1.00	4.00	0.67	4.00	1	32.39
2	RECT_OPEN	1.00	4.00	0.67	4.00	1	17.81

```

*****
NOTE: The summary statistics displayed in this report are
based on results found at every computational time step,
not just on results from each reporting time step.
*****

```

```

*****
Analysis Options
*****

```

```

Flow Units ..... CMS
Process Models:
  Rainfall/Runoff ..... YES
  RDII ..... NO
  Snowmelt ..... NO

```

Groundwater NO
 Flow Routing YES
 Ponding Allowed NO
 Water Quality NO
 Infiltration Method GREEN_AMPT
 Flow Routing Method DYNWAVE
 Surcharge Method EXTRAN
 Starting Date 03/28/2022 00:00:00
 Ending Date 03/29/2022 00:00:00
 Antecedent Dry Days 0.0
 Report Time Step 00:01:00
 Wet Time Step 00:01:00
 Dry Time Step 00:05:00
 Routing Time Step 5.00 sec
 Variable Time Step YES
 Maximum Trials 8
 Number of Threads 1
 Head Tolerance 0.001500 m

	Volume	Depth
Runoff Quantity Continuity	hectare-m	mm

Total Precipitation	1.948	120.146
Evaporation Loss	0.000	0.000
Infiltration Loss	1.384	85.376
Surface Runoff	0.564	34.782
Final Storage	0.000	0.000
Continuity Error (%)	-0.010	

	Volume	Volume
Flow Routing Continuity	hectare-m	10^6 ltr

Dry Weather Inflow	0.000	0.000
Wet Weather Inflow	0.564	5.640
Groundwater Inflow	0.000	0.000
RDII Inflow	0.000	0.000
External Inflow	0.000	0.000
External Outflow	0.554	5.545
Flooding Loss	0.000	0.000

Evaporation Loss	0.000	0.000
Exfiltration Loss	0.000	0.000
Initial Stored Volume	0.000	0.000
Final Stored Volume	0.010	0.095
Continuity Error (%)	0.001	

Time-Step Critical Elements

None

Highest Flow Instability Indexes

All links are stable.

Routing Time Step Summary

Minimum Time Step	:	4.50 sec
Average Time Step	:	5.00 sec
Maximum Time Step	:	5.00 sec
Percent in Steady State	:	0.00
Average Iterations per Step	:	2.00
Percent Not Converging	:	0.00
Time Step Frequencies	:	
5.000 - 3.155 sec	:	100.00 %
3.155 - 1.991 sec	:	0.00 %
1.991 - 1.256 sec	:	0.00 %
1.256 - 0.792 sec	:	0.00 %
0.792 - 0.500 sec	:	0.00 %

Subcatchment Runoff Summary

Peak Runoff		Total	Total	Total	Total	Imperv	Perv	Total	Total
Runoff Coeff	Subcatchment	Precip	Runon	Evap	Infil	Runoff	Runoff	Runoff	Runoff
	CMS	mm	mm	mm	mm	mm	mm	mm	10^6 ltr
Lot1		120.15	0.00	0.00	86.69	0.00	33.47	33.47	3.07
0.55	0.279								
LOt2		120.15	0.00	0.00	83.67	0.00	36.49	36.49	2.57
0.73	0.304								

Node Depth Summary

Node	Type	Average Depth Meters	Maximum Depth Meters	Maximum HGL Meters	Time of Max Occurrence days hr:min	Reported Max Depth Meters
3	JUNCTION	0.22	0.45	898.05	0 07:25	0.45
4	JUNCTION	0.43	0.75	897.95	0 07:15	0.73
OF1	OUTFALL	0.01	0.09	897.89	0 07:15	0.09
OF2	OUTFALL	0.01	0.11	898.01	0 07:25	0.11

Node Inflow Summary

Node	Type	Maximum Lateral Inflow CMS	Maximum Total Inflow CMS	Time of Max Occurrence days hr:min	Lateral Inflow Volume 10^6 ltr	Total Inflow Volume 10^6 ltr	Flow Balance Error Percent
3	JUNCTION	0.554	0.554	0 07:25	3.07	3.07	1.029
4	JUNCTION	0.728	0.728	0 07:20	2.57	2.57	2.557
OF1	OUTFALL	0.000	0.787	0 07:15	0	2.51	0.000

OF2 OUTFALL 0.000 0.554 0 07:25 0 3.04 0.000

Node Surcharge Summary

No nodes were surcharged.

Node Flooding Summary

No nodes were flooded.

Outfall Loading Summary

Outfall Node	Flow Freq Pcnt	Avg Flow CMS	Max Flow CMS	Total Volume 10^6 ltr
OF1	22.32	0.130	0.787	2.507
OF2	26.60	0.132	0.554	3.038
System	24.46	0.262	1.268	5.545

Link Flow Summary

Link	Type	Maximum Flow CMS	Time of Max Occurrence days hr:min	Maximum Veloc m/sec	Max/ Full Flow	Max/ Full Depth

1	CONDUIT	0.787	0	07:15	0.47	0.02	0.42
2	CONDUIT	0.554	0	07:25	0.49	0.03	0.28

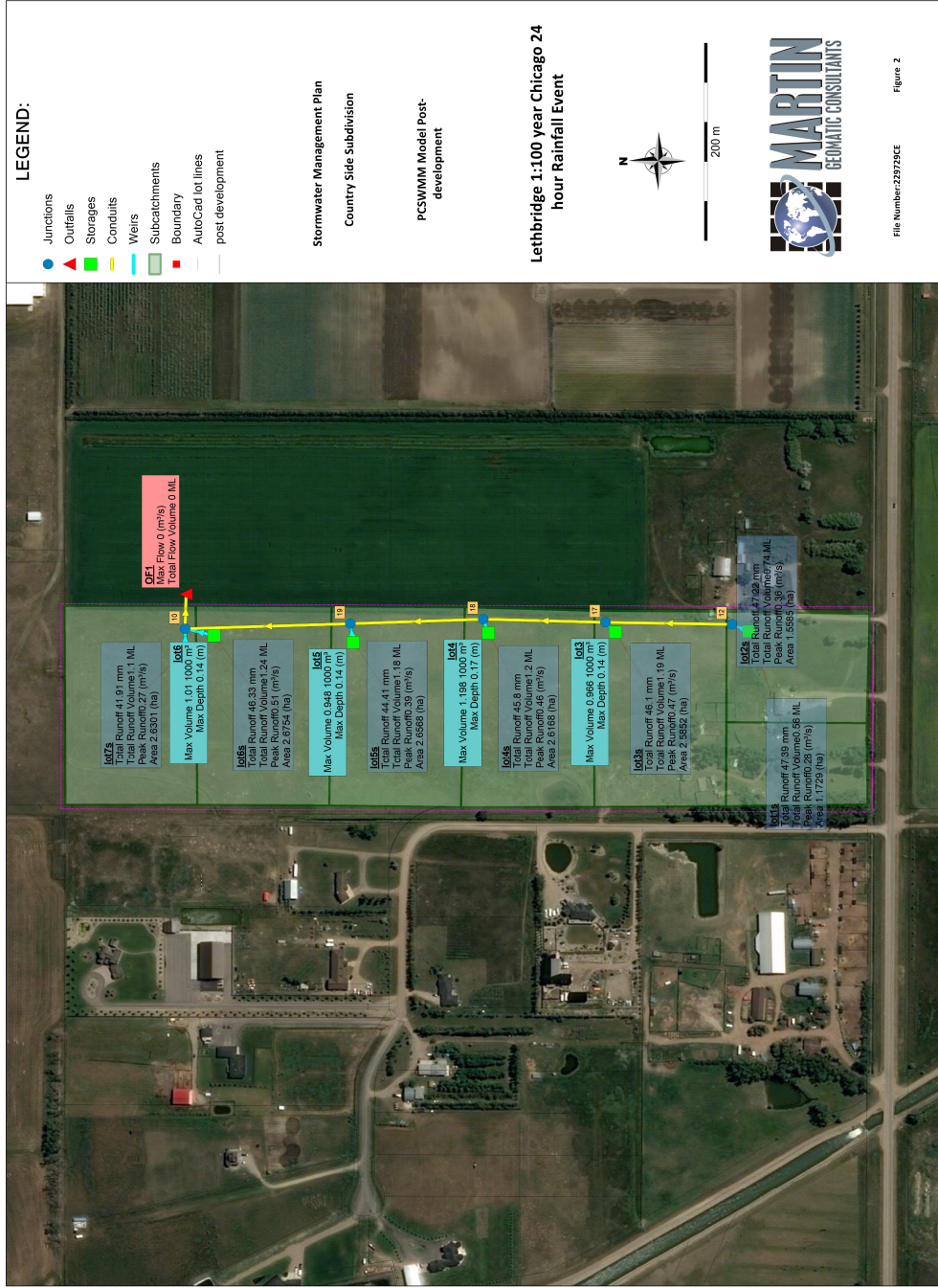
Flow Classification Summary

Conduit	Adjusted /Actual Length	----- Fraction of Time in Flow Class -----								
		Up Dry	Down Dry	Sub Dry	Sup Crit	Up Crit	Down Crit	Norm Ltd	Inlet Ctrl	
1	1.00	0.30	0.00	0.00	0.70	0.00	0.00	0.00	0.46	0.00
2	1.00	0.30	0.00	0.00	0.70	0.00	0.00	0.00	0.38	0.00

Conduit Surcharge Summary

No conduits were surcharged.

Analysis begun on: Fri Jul 7 17:18:45 2023
Analysis ended on: Fri Jul 7 17:18:45 2023
Total elapsed time: < 1 sec



Country Side Subdivision

Post Development

1:100yr 24hr

[OPTIONS]

;;Option	Value
FLOW_UNITS	CMS
INFILTRATION	GREEN_AMPT
FLOW_ROUTING	DYNWAVE
LINK_OFFSETS	DEPTH
MIN_SLOPE	0
ALLOW_PONDING	NO
SKIP_STEADY_STATE	NO

START_DATE	03/28/2022
START_TIME	00:00:00
REPORT_START_DATE	03/28/2022
REPORT_START_TIME	00:00:00
END_DATE	03/29/2022
END_TIME	00:00:00
SWEEP_START	01/01
SWEEP_END	12/31
DRY_DAYS	0
REPORT_STEP	00:01:00
WET_STEP	00:01:00
DRY_STEP	00:05:00
ROUTING_STEP	5
RULE_STEP	00:00:00

INERTIAL_DAMPING	PARTIAL
NORMAL_FLOW_LIMITED	BOTH
FORCE_MAIN_EQUATION	H-W
VARIABLE_STEP	0.75
LENGTHENING_STEP	0
MIN_SURFAREA	0
MAX_TRIALS	8
HEAD_TOLERANCE	0.0015
SYS_FLOW_TOL	5
LAT_FLOW_TOL	5
MINIMUM_STEP	0.5
THREADS	4


```
[EVAPORATION]
;;Data Source Parameters
;-----
CONSTANT 0.0
DRY_ONLY NO
```

```
[RAINGAGES]
;;Name Format Interval SCF Source
;-----
Lethbridge_1:100year_Chicago_24h INTENSITY 0:05 1.0 TIMESERIES Lethbridge_1:100year_Chicago_24h
Lethbridge_100year_Chicago_4h INTENSITY 0:05 1.0 TIMESERIES Lethbridge_100year_Chicago_4h
Lethbridge_5year_Chicago_4h INTENSITY 0:05 1.0 TIMESERIES Lethbridge_5year_Chicago_4h
```

```
[SUBCATCHMENTS]
;;Name Rain Gage Outlet Area %Imperv Width %Slope CurbLen SnowPack
;-----
lot1s Lethbridge_1:100year_Chicago_24h Lot2 1.1729 10 140 0.4 0
lot2s Lethbridge_1:100year_Chicago_24h Lot2 1.5585 10 140 0.6 0
lot3s Lethbridge_1:100year_Chicago_24h lot3 2.5852 10 130.5 0.8 0
lot4s Lethbridge_1:100year_Chicago_24h lot4 2.6168 10 128 0.7 0
lot5s Lethbridge_1:100year_Chicago_24h lot5 2.6568 10 136 0.3 0
lot6s Lethbridge_1:100year_Chicago_24h lot6 2.6754 10 130.5 1 0
lot7s Lethbridge_1:100year_Chicago_24h lot7 2.6301 10 124.5 0.5 0
```

```
[SUBAREAS]
;;Subcatchment N-Imperv N-Perv S-Imperv S-Perv PctZero RouteTo PctRouted
;-----
lot1s 0.015 0.1 0.45 3.8 25 OUTLET
lot2s 0.015 0.1 0.45 3.8 25 OUTLET
lot3s 0.015 0.1 0.45 3.8 25 OUTLET
lot4s 0.015 0.1 0.45 3.8 25 OUTLET
lot5s 0.015 0.1 0.45 3.8 25 OUTLET
lot6s 0.015 0.1 0.45 3.8 25 OUTLET
lot7s 0.015 0.1 0.45 3.8 25 PERVIOUS 100
```

```
[INFILTRATION]
;;Subcatchment Param1 Param2 Param3 Param4 Param5
;-----
lot1s 127.9 5 0.36 0 0
lot2s 127.9 5 0.36 0 0
lot3s 127.9 5 0.36 0 0
```

lot4s	127.9	5	0.36	0	0
lot5s	127.9	5	0.36	0	0
lot6s	127.9	5	0.36	0	0
lot7s	127.9	5	0.36	0	0

[JUNCTIONS]

;;Name	Elevation	MaxDepth	InitDepth	SurDepth	Aponded
10	897.9	0.7	0	0	0
12	898.2	0.7	0	0	0
17	897.6	1.2	0	0	0
18	897	1.8	0	0	0
19	898.06	0.74	0	0	0

[OUTFALLS]

;;Name	Elevation	Type	Stage Data	Gated	Route To
OF1	897.8	FREE		NO	

[STORAGE]

;;Name	Elev.	MaxDepth	InitDepth	Shape	Curve Name/Params	SurDepth	Fevap	Psi
Lot2	898	1	0	FUNCTIONAL	1000 2 7000	0	0	292.2
0.5	0.25							
lot3	896.8	1.4	0	FUNCTIONAL	1000 2 7000	0	0	292.2
0.5	0.25							
lot4	896.8	1.4	0	FUNCTIONAL	1000 2 7000	0	0	
lot5	897.8	0.6	0	FUNCTIONAL	1000 2 7000	0	0	292.2
0.5	0.25							
lot6	897.5	0.9	0	FUNCTIONAL	1000 2 7000	0	0	292.2
0.5	0.25							
lot7	897.8	0.6	0	FUNCTIONAL	1000 2 7000	0	0	292.5
0.5	0.25							

[CONDUITS]

;;Name	From Node	To Node	Length	Roughness	InOffset	OutOffset	InitFlow	MaxFlow
2	10	OF1	35.166	0.01	0	0	0	0
6	18	19	131.18	0.01	0.6	0	0	0

7	19	10	163.133	0.01	0	0	0	0
conduit3	12	17	124.967	0.01	0.4	0.4	0	0
conduit4	17	18	120.498	0.01	0	0.6	0	0

[WEIRS]

;;Name	From Node	To Node	Type	CrestHt	Qcoeff	Gated	EndCon	EndCoeff
Surcharge	RoadWidth	RoadSurf	Coeff. Curve					
1	lot7	10	TRANSVERSE	0.5	3.33	NO	0	0
YES								
11	lot4	18	TRANSVERSE	1	3.33	NO	0	0
YES								
8	lot5	19	TRANSVERSE	0	3.33	NO	0	0
YES								
9	lot6	10	TRANSVERSE	0	3.33	NO	0	0
YES								
bioswale4	Lot2	12	TRANSVERSE	0.5	3.33	NO	0	0
YES								
W3	lot3	17	TRANSVERSE	1	3.33	NO	0	0
YES								

[XSECTIONS]

;;Link	Shape	Geom1	Geom2	Geom3	Geom4	Barrels	Culvert
2	TRAPEZOIDAL	1	2	2	2	1	
6	TRAPEZOIDAL	0.4	1	5	5	1	
7	TRAPEZOIDAL	0.4	1	5	5	1	
conduit3	TRAPEZOIDAL	0.4	1	5	5	1	
conduit4	TRAPEZOIDAL	0.4	1	5	5	1	
1	RECT_OPEN	1	1	0	0		
11	RECT_OPEN	0.6	1	1	1		
8	RECT_OPEN	1	1	0	0		
9	RECT_OPEN	1	1	0	0		
bioswale4	RECT_OPEN	1	1	1	1		
W3	RECT_OPEN	0.6	1	1	1		

[LOSSES]

;;Link	Kentry	Kexit	Kavg	Flap Gate	Seepage

[CURVES]

```

;;Name          Type          X-Value    Y-Value
;;-----
;lot 3 pond
pondnorth      Storage    0          0.6
pondnorth      Storage    0.1        89
pondnorth      Storage    0.2        307
pondnorth      Storage    0.3        568
pondnorth      Storage    0.4        848
pondnorth      Storage    0.5        1149
pondnorth      Storage    0.6        1448
pondnorth      Storage    0.7        1718
pondnorth      Storage    0.8        1959
pondnorth      Storage    0.9        2175
pondnorth      Storage    1          2370
pondnorth      Storage    1.33       23685

pondsouth2     Storage    0          0.6
pondsouth2     Storage    0.1        12
pondsouth2     Storage    0.2        49.4
pondsouth2     Storage    0.3        107
pondsouth2     Storage    0.4        185
pondsouth2     Storage    0.5        287
pondsouth2     Storage    0.6        425
pondsouth2     Storage    0.7        636
pondsouth2     Storage    0.8        917
pondsouth2     Storage    0.9        1267
pondsouth2     Storage    1          1721
pondsouth2     Storage    1.4        7263

Road_Default_Trapped_Low Storage    0          0.636
Road_Default_Trapped_Low          1.2        0.636
Road_Default_Trapped_Low          1.6        1000

Road_Default_Trapped_Low2 Storage    0          0.6
Road_Default_Trapped_Low2          1.2        0.6
Road_Default_Trapped_Low2          1.3        3000
Road_Default_Trapped_Low2          1.6        4500

Waterfront_Dry_Pond Storage    0          156.7
Waterfront_Dry_Pond          0.2        236.1
Waterfront_Dry_Pond          0.4        335.5

```

Waterfront_Dry_Pond	0.6	458.4
Waterfront_Dry_Pond	0.8	601.2
Waterfront_Dry_Pond	1	763.6
Waterfront_Dry_Pond	1.2	945.4
Waterfront_Dry_Pond	1.4	1147.1
Waterfront_Dry_Pond	1.6	1370.2
Waterfront_Dry_Pond	1.8	1628.2
Waterfront_Dry_Pond	2	2002.8
Waterfront_Dry_Pond	2.2	2597.1

Waterfront_Pond	Storage	0	6533
Waterfront_Pond		0.2	6750
Waterfront_Pond		0.4	6957
Waterfront_Pond		0.6	7167
Waterfront_Pond		0.8	7381
Waterfront_Pond		1	7597
Waterfront_Pond		1.2	7811
Waterfront_Pond		1.4	8027
Waterfront_Pond		1.6	8146
Waterfront_Pond		1.8	8470
Waterfront_Pond		2	8696
Waterfront_Pond		2.2	9041
Waterfront_Pond		2.4	9392
Waterfront_Pond		2.6	9751
Waterfront_Pond		2.8	10117
Waterfront_Pond		3	10490
Waterfront_Pond		3.2	10870
Waterfront_Pond		3.4	11257
Waterfront_Pond		3.6	11651
Waterfront_Pond		3.8	12053
Waterfront_Pond		4	12461
Waterfront_Pond		4.2	12877
Waterfront_Pond		4.4	13300
Waterfront_Pond		4.6	13731
Waterfront_Pond		4.8	14165

[TIMESERIES]

```
;;Name      Date      Time      Value
;;-----
```

```
;Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 1440 minutes, r = 0.3, rain units = mm/hr.
Lethbridge_1:100year_Chicago_24h      0:00      1.352
```

Lethbridge_1:100year_Chicago_24h	0:05	1.364
Lethbridge_1:100year_Chicago_24h	0:10	1.376
Lethbridge_1:100year_Chicago_24h	0:15	1.388
Lethbridge_1:100year_Chicago_24h	0:20	1.4
Lethbridge_1:100year_Chicago_24h	0:25	1.413
Lethbridge_1:100year_Chicago_24h	0:30	1.426
Lethbridge_1:100year_Chicago_24h	0:35	1.439
Lethbridge_1:100year_Chicago_24h	0:40	1.453
Lethbridge_1:100year_Chicago_24h	0:45	1.466
Lethbridge_1:100year_Chicago_24h	0:50	1.48
Lethbridge_1:100year_Chicago_24h	0:55	1.495
Lethbridge_1:100year_Chicago_24h	1:00	1.51
Lethbridge_1:100year_Chicago_24h	1:05	1.525
Lethbridge_1:100year_Chicago_24h	1:10	1.54
Lethbridge_1:100year_Chicago_24h	1:15	1.556
Lethbridge_1:100year_Chicago_24h	1:20	1.572
Lethbridge_1:100year_Chicago_24h	1:25	1.589
Lethbridge_1:100year_Chicago_24h	1:30	1.606
Lethbridge_1:100year_Chicago_24h	1:35	1.624
Lethbridge_1:100year_Chicago_24h	1:40	1.641
Lethbridge_1:100year_Chicago_24h	1:45	1.66
Lethbridge_1:100year_Chicago_24h	1:50	1.679
Lethbridge_1:100year_Chicago_24h	1:55	1.698
Lethbridge_1:100year_Chicago_24h	2:00	1.718
Lethbridge_1:100year_Chicago_24h	2:05	1.739
Lethbridge_1:100year_Chicago_24h	2:10	1.76
Lethbridge_1:100year_Chicago_24h	2:15	1.782
Lethbridge_1:100year_Chicago_24h	2:20	1.804
Lethbridge_1:100year_Chicago_24h	2:25	1.828
Lethbridge_1:100year_Chicago_24h	2:30	1.851
Lethbridge_1:100year_Chicago_24h	2:35	1.876
Lethbridge_1:100year_Chicago_24h	2:40	1.901
Lethbridge_1:100year_Chicago_24h	2:45	1.928
Lethbridge_1:100year_Chicago_24h	2:50	1.955
Lethbridge_1:100year_Chicago_24h	2:55	1.983
Lethbridge_1:100year_Chicago_24h	3:00	2.012
Lethbridge_1:100year_Chicago_24h	3:05	2.042
Lethbridge_1:100year_Chicago_24h	3:10	2.073
Lethbridge_1:100year_Chicago_24h	3:15	2.105
Lethbridge_1:100year_Chicago_24h	3:20	2.138
Lethbridge_1:100year_Chicago_24h	3:25	2.173

Lethbridge_1:100year_Chicago_24h	3:30	2.209
Lethbridge_1:100year_Chicago_24h	3:35	2.247
Lethbridge_1:100year_Chicago_24h	3:40	2.286
Lethbridge_1:100year_Chicago_24h	3:45	2.326
Lethbridge_1:100year_Chicago_24h	3:50	2.369
Lethbridge_1:100year_Chicago_24h	3:55	2.413
Lethbridge_1:100year_Chicago_24h	4:00	2.46
Lethbridge_1:100year_Chicago_24h	4:05	2.508
Lethbridge_1:100year_Chicago_24h	4:10	2.559
Lethbridge_1:100year_Chicago_24h	4:15	2.612
Lethbridge_1:100year_Chicago_24h	4:20	2.669
Lethbridge_1:100year_Chicago_24h	4:25	2.728
Lethbridge_1:100year_Chicago_24h	4:30	2.79
Lethbridge_1:100year_Chicago_24h	4:35	2.856
Lethbridge_1:100year_Chicago_24h	4:40	2.925
Lethbridge_1:100year_Chicago_24h	4:45	2.999
Lethbridge_1:100year_Chicago_24h	4:50	3.077
Lethbridge_1:100year_Chicago_24h	4:55	3.16
Lethbridge_1:100year_Chicago_24h	5:00	3.249
Lethbridge_1:100year_Chicago_24h	5:05	3.344
Lethbridge_1:100year_Chicago_24h	5:10	3.446
Lethbridge_1:100year_Chicago_24h	5:15	3.555
Lethbridge_1:100year_Chicago_24h	5:20	3.673
Lethbridge_1:100year_Chicago_24h	5:25	3.801
Lethbridge_1:100year_Chicago_24h	5:30	3.939
Lethbridge_1:100year_Chicago_24h	5:35	4.091
Lethbridge_1:100year_Chicago_24h	5:40	4.257
Lethbridge_1:100year_Chicago_24h	5:45	4.44
Lethbridge_1:100year_Chicago_24h	5:50	4.642
Lethbridge_1:100year_Chicago_24h	5:55	4.868
Lethbridge_1:100year_Chicago_24h	6:00	5.122
Lethbridge_1:100year_Chicago_24h	6:05	5.409
Lethbridge_1:100year_Chicago_24h	6:10	5.738
Lethbridge_1:100year_Chicago_24h	6:15	6.119
Lethbridge_1:100year_Chicago_24h	6:20	6.565
Lethbridge_1:100year_Chicago_24h	6:25	7.098
Lethbridge_1:100year_Chicago_24h	6:30	7.745
Lethbridge_1:100year_Chicago_24h	6:35	8.553
Lethbridge_1:100year_Chicago_24h	6:40	9.594
Lethbridge_1:100year_Chicago_24h	6:45	10.997
Lethbridge_1:100year_Chicago_24h	6:50	13.01

Lethbridge_1:100year_Chicago_24h	6:55	16.203
Lethbridge_1:100year_Chicago_24h	7:00	22.264
Lethbridge_1:100year_Chicago_24h	7:05	40.822
Lethbridge_1:100year_Chicago_24h	7:10	314.277
Lethbridge_1:100year_Chicago_24h	7:15	62.374
Lethbridge_1:100year_Chicago_24h	7:20	38.336
Lethbridge_1:100year_Chicago_24h	7:25	28.645
Lethbridge_1:100year_Chicago_24h	7:30	23.295
Lethbridge_1:100year_Chicago_24h	7:35	19.837
Lethbridge_1:100year_Chicago_24h	7:40	17.393
Lethbridge_1:100year_Chicago_24h	7:45	15.56
Lethbridge_1:100year_Chicago_24h	7:50	14.128
Lethbridge_1:100year_Chicago_24h	7:55	12.973
Lethbridge_1:100year_Chicago_24h	8:00	12.02
Lethbridge_1:100year_Chicago_24h	8:05	11.217
Lethbridge_1:100year_Chicago_24h	8:10	10.531
Lethbridge_1:100year_Chicago_24h	8:15	9.937
Lethbridge_1:100year_Chicago_24h	8:20	9.416
Lethbridge_1:100year_Chicago_24h	8:25	8.956
Lethbridge_1:100year_Chicago_24h	8:30	8.545
Lethbridge_1:100year_Chicago_24h	8:35	8.177
Lethbridge_1:100year_Chicago_24h	8:40	7.844
Lethbridge_1:100year_Chicago_24h	8:45	7.542
Lethbridge_1:100year_Chicago_24h	8:50	7.265
Lethbridge_1:100year_Chicago_24h	8:55	7.012
Lethbridge_1:100year_Chicago_24h	9:00	6.778
Lethbridge_1:100year_Chicago_24h	9:05	6.563
Lethbridge_1:100year_Chicago_24h	9:10	6.362
Lethbridge_1:100year_Chicago_24h	9:15	6.176
Lethbridge_1:100year_Chicago_24h	9:20	6.002
Lethbridge_1:100year_Chicago_24h	9:25	5.839
Lethbridge_1:100year_Chicago_24h	9:30	5.687
Lethbridge_1:100year_Chicago_24h	9:35	5.543
Lethbridge_1:100year_Chicago_24h	9:40	5.408
Lethbridge_1:100year_Chicago_24h	9:45	5.28
Lethbridge_1:100year_Chicago_24h	9:50	5.159
Lethbridge_1:100year_Chicago_24h	9:55	5.045
Lethbridge_1:100year_Chicago_24h	10:00	4.936
Lethbridge_1:100year_Chicago_24h	10:05	4.833
Lethbridge_1:100year_Chicago_24h	10:10	4.735
Lethbridge_1:100year_Chicago_24h	10:15	4.641

Lethbridge_1:100year_Chicago_24h	10:20	4.552
Lethbridge_1:100year_Chicago_24h	10:25	4.466
Lethbridge_1:100year_Chicago_24h	10:30	4.385
Lethbridge_1:100year_Chicago_24h	10:35	4.307
Lethbridge_1:100year_Chicago_24h	10:40	4.231
Lethbridge_1:100year_Chicago_24h	10:45	4.159
Lethbridge_1:100year_Chicago_24h	10:50	4.09
Lethbridge_1:100year_Chicago_24h	10:55	4.024
Lethbridge_1:100year_Chicago_24h	11:00	3.96
Lethbridge_1:100year_Chicago_24h	11:05	3.898
Lethbridge_1:100year_Chicago_24h	11:10	3.839
Lethbridge_1:100year_Chicago_24h	11:15	3.781
Lethbridge_1:100year_Chicago_24h	11:20	3.726
Lethbridge_1:100year_Chicago_24h	11:25	3.673
Lethbridge_1:100year_Chicago_24h	11:30	3.621
Lethbridge_1:100year_Chicago_24h	11:35	3.571
Lethbridge_1:100year_Chicago_24h	11:40	3.523
Lethbridge_1:100year_Chicago_24h	11:45	3.476
Lethbridge_1:100year_Chicago_24h	11:50	3.43
Lethbridge_1:100year_Chicago_24h	11:55	3.386
Lethbridge_1:100year_Chicago_24h	12:00	3.344
Lethbridge_1:100year_Chicago_24h	12:05	3.302
Lethbridge_1:100year_Chicago_24h	12:10	3.262
Lethbridge_1:100year_Chicago_24h	12:15	3.223
Lethbridge_1:100year_Chicago_24h	12:20	3.185
Lethbridge_1:100year_Chicago_24h	12:25	3.148
Lethbridge_1:100year_Chicago_24h	12:30	3.112
Lethbridge_1:100year_Chicago_24h	12:35	3.077
Lethbridge_1:100year_Chicago_24h	12:40	3.043
Lethbridge_1:100year_Chicago_24h	12:45	3.01
Lethbridge_1:100year_Chicago_24h	12:50	2.977
Lethbridge_1:100year_Chicago_24h	12:55	2.946
Lethbridge_1:100year_Chicago_24h	13:00	2.915
Lethbridge_1:100year_Chicago_24h	13:05	2.885
Lethbridge_1:100year_Chicago_24h	13:10	2.856
Lethbridge_1:100year_Chicago_24h	13:15	2.827
Lethbridge_1:100year_Chicago_24h	13:20	2.799
Lethbridge_1:100year_Chicago_24h	13:25	2.772
Lethbridge_1:100year_Chicago_24h	13:30	2.745
Lethbridge_1:100year_Chicago_24h	13:35	2.719
Lethbridge_1:100year_Chicago_24h	13:40	2.693

Lethbridge_1:100year_Chicago_24h	13:45	2.669
Lethbridge_1:100year_Chicago_24h	13:50	2.644
Lethbridge_1:100year_Chicago_24h	13:55	2.62
Lethbridge_1:100year_Chicago_24h	14:00	2.597
Lethbridge_1:100year_Chicago_24h	14:05	2.574
Lethbridge_1:100year_Chicago_24h	14:10	2.552
Lethbridge_1:100year_Chicago_24h	14:15	2.53
Lethbridge_1:100year_Chicago_24h	14:20	2.508
Lethbridge_1:100year_Chicago_24h	14:25	2.487
Lethbridge_1:100year_Chicago_24h	14:30	2.466
Lethbridge_1:100year_Chicago_24h	14:35	2.446
Lethbridge_1:100year_Chicago_24h	14:40	2.426
Lethbridge_1:100year_Chicago_24h	14:45	2.407
Lethbridge_1:100year_Chicago_24h	14:50	2.388
Lethbridge_1:100year_Chicago_24h	14:55	2.369
Lethbridge_1:100year_Chicago_24h	15:00	2.35
Lethbridge_1:100year_Chicago_24h	15:05	2.332
Lethbridge_1:100year_Chicago_24h	15:10	2.315
Lethbridge_1:100year_Chicago_24h	15:15	2.297
Lethbridge_1:100year_Chicago_24h	15:20	2.28
Lethbridge_1:100year_Chicago_24h	15:25	2.263
Lethbridge_1:100year_Chicago_24h	15:30	2.247
Lethbridge_1:100year_Chicago_24h	15:35	2.23
Lethbridge_1:100year_Chicago_24h	15:40	2.214
Lethbridge_1:100year_Chicago_24h	15:45	2.199
Lethbridge_1:100year_Chicago_24h	15:50	2.183
Lethbridge_1:100year_Chicago_24h	15:55	2.168
Lethbridge_1:100year_Chicago_24h	16:00	2.153
Lethbridge_1:100year_Chicago_24h	16:05	2.138
Lethbridge_1:100year_Chicago_24h	16:10	2.124
Lethbridge_1:100year_Chicago_24h	16:15	2.11
Lethbridge_1:100year_Chicago_24h	16:20	2.095
Lethbridge_1:100year_Chicago_24h	16:25	2.082
Lethbridge_1:100year_Chicago_24h	16:30	2.068
Lethbridge_1:100year_Chicago_24h	16:35	2.055
Lethbridge_1:100year_Chicago_24h	16:40	2.042
Lethbridge_1:100year_Chicago_24h	16:45	2.029
Lethbridge_1:100year_Chicago_24h	16:50	2.016
Lethbridge_1:100year_Chicago_24h	16:55	2.003
Lethbridge_1:100year_Chicago_24h	17:00	1.991
Lethbridge_1:100year_Chicago_24h	17:05	1.979

Lethbridge_1:100year_Chicago_24h	17:10	1.966
Lethbridge_1:100year_Chicago_24h	17:15	1.955
Lethbridge_1:100year_Chicago_24h	17:20	1.943
Lethbridge_1:100year_Chicago_24h	17:25	1.931
Lethbridge_1:100year_Chicago_24h	17:30	1.92
Lethbridge_1:100year_Chicago_24h	17:35	1.909
Lethbridge_1:100year_Chicago_24h	17:40	1.898
Lethbridge_1:100year_Chicago_24h	17:45	1.887
Lethbridge_1:100year_Chicago_24h	17:50	1.876
Lethbridge_1:100year_Chicago_24h	17:55	1.865
Lethbridge_1:100year_Chicago_24h	18:00	1.855
Lethbridge_1:100year_Chicago_24h	18:05	1.844
Lethbridge_1:100year_Chicago_24h	18:10	1.834
Lethbridge_1:100year_Chicago_24h	18:15	1.824
Lethbridge_1:100year_Chicago_24h	18:20	1.814
Lethbridge_1:100year_Chicago_24h	18:25	1.804
Lethbridge_1:100year_Chicago_24h	18:30	1.795
Lethbridge_1:100year_Chicago_24h	18:35	1.785
Lethbridge_1:100year_Chicago_24h	18:40	1.776
Lethbridge_1:100year_Chicago_24h	18:45	1.766
Lethbridge_1:100year_Chicago_24h	18:50	1.757
Lethbridge_1:100year_Chicago_24h	18:55	1.748
Lethbridge_1:100year_Chicago_24h	19:00	1.739
Lethbridge_1:100year_Chicago_24h	19:05	1.73
Lethbridge_1:100year_Chicago_24h	19:10	1.721
Lethbridge_1:100year_Chicago_24h	19:15	1.713
Lethbridge_1:100year_Chicago_24h	19:20	1.704
Lethbridge_1:100year_Chicago_24h	19:25	1.696
Lethbridge_1:100year_Chicago_24h	19:30	1.687
Lethbridge_1:100year_Chicago_24h	19:35	1.679
Lethbridge_1:100year_Chicago_24h	19:40	1.671
Lethbridge_1:100year_Chicago_24h	19:45	1.663
Lethbridge_1:100year_Chicago_24h	19:50	1.655
Lethbridge_1:100year_Chicago_24h	19:55	1.647
Lethbridge_1:100year_Chicago_24h	20:00	1.639
Lethbridge_1:100year_Chicago_24h	20:05	1.631
Lethbridge_1:100year_Chicago_24h	20:10	1.624
Lethbridge_1:100year_Chicago_24h	20:15	1.616
Lethbridge_1:100year_Chicago_24h	20:20	1.608
Lethbridge_1:100year_Chicago_24h	20:25	1.601
Lethbridge_1:100year_Chicago_24h	20:30	1.594

Lethbridge_1:100year_Chicago_24h	20:35	1.587
Lethbridge_1:100year_Chicago_24h	20:40	1.579
Lethbridge_1:100year_Chicago_24h	20:45	1.572
Lethbridge_1:100year_Chicago_24h	20:50	1.565
Lethbridge_1:100year_Chicago_24h	20:55	1.558
Lethbridge_1:100year_Chicago_24h	21:00	1.551
Lethbridge_1:100year_Chicago_24h	21:05	1.545
Lethbridge_1:100year_Chicago_24h	21:10	1.538
Lethbridge_1:100year_Chicago_24h	21:15	1.531
Lethbridge_1:100year_Chicago_24h	21:20	1.525
Lethbridge_1:100year_Chicago_24h	21:25	1.518
Lethbridge_1:100year_Chicago_24h	21:30	1.512
Lethbridge_1:100year_Chicago_24h	21:35	1.505
Lethbridge_1:100year_Chicago_24h	21:40	1.499
Lethbridge_1:100year_Chicago_24h	21:45	1.493
Lethbridge_1:100year_Chicago_24h	21:50	1.487
Lethbridge_1:100year_Chicago_24h	21:55	1.48
Lethbridge_1:100year_Chicago_24h	22:00	1.474
Lethbridge_1:100year_Chicago_24h	22:05	1.468
Lethbridge_1:100year_Chicago_24h	22:10	1.462
Lethbridge_1:100year_Chicago_24h	22:15	1.456
Lethbridge_1:100year_Chicago_24h	22:20	1.451
Lethbridge_1:100year_Chicago_24h	22:25	1.445
Lethbridge_1:100year_Chicago_24h	22:30	1.439
Lethbridge_1:100year_Chicago_24h	22:35	1.433
Lethbridge_1:100year_Chicago_24h	22:40	1.428
Lethbridge_1:100year_Chicago_24h	22:45	1.422
Lethbridge_1:100year_Chicago_24h	22:50	1.417
Lethbridge_1:100year_Chicago_24h	22:55	1.411
Lethbridge_1:100year_Chicago_24h	23:00	1.406
Lethbridge_1:100year_Chicago_24h	23:05	1.4
Lethbridge_1:100year_Chicago_24h	23:10	1.395
Lethbridge_1:100year_Chicago_24h	23:15	1.39
Lethbridge_1:100year_Chicago_24h	23:20	1.384
Lethbridge_1:100year_Chicago_24h	23:25	1.379
Lethbridge_1:100year_Chicago_24h	23:30	1.374
Lethbridge_1:100year_Chicago_24h	23:35	1.369
Lethbridge_1:100year_Chicago_24h	23:40	1.364
Lethbridge_1:100year_Chicago_24h	23:45	1.359
Lethbridge_1:100year_Chicago_24h	23:50	1.354
Lethbridge_1:100year_Chicago_24h	23:55	1.349

```

Lethbridge_1:100year_Chicago_24h      24:00      0

;Chicago design storm, a = 1019.2, b = 0, c = 0.731, Duration = 240 minutes, r = 0.3, rain units = mm/hr.
Lethbridge_100year_Chicago_4h          0:00          5.122
Lethbridge_100year_Chicago_4h          0:05          5.409
Lethbridge_100year_Chicago_4h          0:10          5.738
Lethbridge_100year_Chicago_4h          0:15          6.119
Lethbridge_100year_Chicago_4h          0:20          6.565
Lethbridge_100year_Chicago_4h          0:25          7.098
Lethbridge_100year_Chicago_4h          0:30          7.745
Lethbridge_100year_Chicago_4h          0:35          8.553
Lethbridge_100year_Chicago_4h          0:40          9.594
Lethbridge_100year_Chicago_4h          0:45         10.997
Lethbridge_100year_Chicago_4h          0:50         13.01
Lethbridge_100year_Chicago_4h          0:55         16.203
Lethbridge_100year_Chicago_4h          1:00         22.264
Lethbridge_100year_Chicago_4h          1:05         40.822
Lethbridge_100year_Chicago_4h          1:10        314.277
Lethbridge_100year_Chicago_4h          1:15         62.374
Lethbridge_100year_Chicago_4h          1:20         38.336
Lethbridge_100year_Chicago_4h          1:25         28.645
Lethbridge_100year_Chicago_4h          1:30         23.295
Lethbridge_100year_Chicago_4h          1:35         19.837
Lethbridge_100year_Chicago_4h          1:40         17.393
Lethbridge_100year_Chicago_4h          1:45         15.56
Lethbridge_100year_Chicago_4h          1:50         14.128
Lethbridge_100year_Chicago_4h          1:55         12.973
Lethbridge_100year_Chicago_4h          2:00         12.02
Lethbridge_100year_Chicago_4h          2:05         11.217
Lethbridge_100year_Chicago_4h          2:10         10.531
Lethbridge_100year_Chicago_4h          2:15          9.937
Lethbridge_100year_Chicago_4h          2:20          9.416
Lethbridge_100year_Chicago_4h          2:25          8.956
Lethbridge_100year_Chicago_4h          2:30          8.545
Lethbridge_100year_Chicago_4h          2:35          8.177
Lethbridge_100year_Chicago_4h          2:40          7.844
Lethbridge_100year_Chicago_4h          2:45          7.542
Lethbridge_100year_Chicago_4h          2:50          7.265
Lethbridge_100year_Chicago_4h          2:55          7.012
Lethbridge_100year_Chicago_4h          3:00          6.778
Lethbridge_100year_Chicago_4h          3:05          6.563

```

Lethbridge_100year_Chicago_4h	3:10	6.362
Lethbridge_100year_Chicago_4h	3:15	6.176
Lethbridge_100year_Chicago_4h	3:20	6.002
Lethbridge_100year_Chicago_4h	3:25	5.839
Lethbridge_100year_Chicago_4h	3:30	5.687
Lethbridge_100year_Chicago_4h	3:35	5.543
Lethbridge_100year_Chicago_4h	3:40	5.408
Lethbridge_100year_Chicago_4h	3:45	5.28
Lethbridge_100year_Chicago_4h	3:50	5.159
Lethbridge_100year_Chicago_4h	3:55	5.045
Lethbridge_100year_Chicago_4h	4:00	0
Lethbridge_5year_Chicago_4h	0:00	3.028
Lethbridge_5year_Chicago_4h	0:05	3.19
Lethbridge_5year_Chicago_4h	0:10	3.374
Lethbridge_5year_Chicago_4h	0:15	3.587
Lethbridge_5year_Chicago_4h	0:20	3.836
Lethbridge_5year_Chicago_4h	0:25	4.131
Lethbridge_5year_Chicago_4h	0:30	4.489
Lethbridge_5year_Chicago_4h	0:35	4.934
Lethbridge_5year_Chicago_4h	0:40	5.504
Lethbridge_5year_Chicago_4h	0:45	6.268
Lethbridge_5year_Chicago_4h	0:50	7.356
Lethbridge_5year_Chicago_4h	0:55	9.064
Lethbridge_5year_Chicago_4h	1:00	12.265
Lethbridge_5year_Chicago_4h	1:05	21.818
Lethbridge_5year_Chicago_4h	1:10	143.764
Lethbridge_5year_Chicago_4h	1:15	32.694
Lethbridge_5year_Chicago_4h	1:20	20.578
Lethbridge_5year_Chicago_4h	1:25	15.594
Lethbridge_5year_Chicago_4h	1:30	12.808
Lethbridge_5year_Chicago_4h	1:35	10.992
Lethbridge_5year_Chicago_4h	1:40	9.698
Lethbridge_5year_Chicago_4h	1:45	8.723
Lethbridge_5year_Chicago_4h	1:50	7.957
Lethbridge_5year_Chicago_4h	1:55	7.336
Lethbridge_5year_Chicago_4h	2:00	6.822
Lethbridge_5year_Chicago_4h	2:05	6.388
Lethbridge_5year_Chicago_4h	2:10	6.015
Lethbridge_5year_Chicago_4h	2:15	5.691
Lethbridge_5year_Chicago_4h	2:20	5.407

Lethbridge_5year_Chicago_4h	2:25	5.155
Lethbridge_5year_Chicago_4h	2:30	4.93
Lethbridge_5year_Chicago_4h	2:35	4.727
Lethbridge_5year_Chicago_4h	2:40	4.544
Lethbridge_5year_Chicago_4h	2:45	4.377
Lethbridge_5year_Chicago_4h	2:50	4.224
Lethbridge_5year_Chicago_4h	2:55	4.084
Lethbridge_5year_Chicago_4h	3:00	3.954
Lethbridge_5year_Chicago_4h	3:05	3.834
Lethbridge_5year_Chicago_4h	3:10	3.723
Lethbridge_5year_Chicago_4h	3:15	3.619
Lethbridge_5year_Chicago_4h	3:20	3.522
Lethbridge_5year_Chicago_4h	3:25	3.431
Lethbridge_5year_Chicago_4h	3:30	3.345
Lethbridge_5year_Chicago_4h	3:35	3.265
Lethbridge_5year_Chicago_4h	3:40	3.189
Lethbridge_5year_Chicago_4h	3:45	3.117
Lethbridge_5year_Chicago_4h	3:50	3.049
Lethbridge_5year_Chicago_4h	3:55	2.985
Lethbridge_5year_Chicago_4h	4:00	0

[REPORT]

```
;;Reporting Options
INPUT      YES
CONTROLS   NO
SUBCATCHMENTS ALL
NODES ALL
LINKS ALL
```

[TAGS]

[MAP]

DIMENSIONS	375774.57055	5506451.2216	376037.96445	5507328.5024
UNITS	Meters			

[COORDINATES]

```
;;Node      X-Coord      Y-Coord
;;-----
10           375980.886    5507166.561
12           375972.969    5506627.128
17           375977.95     5506751.979
```

18	375983.844	5506872.316
19	375982.372	5507003.46
OF1	376015.992	5507164.647
Lot2	375965.485	5506610.59
lot3	375967.696	5506742.312
lot4	375969.76	5506867.607
lot5	375963.486	5507001.059
lot6	375973.45	5507138.056
lot7	375960.432	5507166.447

[VERTICES]

;;Link	X-Coord	Y-Coord
;;-----	-----	-----

[POLYGONS]

;;Subcatchment	X-Coord	Y-Coord
;;-----	-----	-----
lot1s	375869.882	5506496.686
lot1s	375786.543	5506497.834
lot1s	375788.213	5506637.364
lot1s	375873.809	5506634.638
lot1s	375869.882	5506496.686
lot2s	375869.883	5506496.695
lot2s	375873.809	5506634.647
lot2s	375986.176	5506632.064
lot2s	375980.654	5506491.098
lot2s	375869.883	5506496.695
lot3s	375788.214	5506637.372
lot3s	375790.421	5506766.962
lot3s	375989.925	5506762.39
lot3s	375986.176	5506632.073
lot3s	375788.214	5506637.372
lot4s	375790.421	5506766.971
lot4s	375792.922	5506898.491
lot4s	375996.603	5506890.086
lot4s	375989.925	5506762.399
lot4s	375790.421	5506766.971
lot5s	375797.873	5507028.339
lot5s	376000.286	5507021.481
lot5s	375996.603	5506890.077
lot5s	375792.922	5506898.482

lot5s	375797.873	5507028.339
lot6s	375797.873	5507028.33
lot6s	375801.6	5507158.48
lot6s	376004.093	5507155.319
lot6s	376000.286	5507021.472
lot6s	375797.873	5507028.33
lot7s	375804.585	5507288.626
lot7s	376007.056	5507284.725
lot7s	376004.093	5507155.31
lot7s	375801.6	5507158.471
lot7s	375804.585	5507288.626

```
;;Storage Node X-Coord Y-Coord
;;-----
```

```
[SYMBOLS]
;;Gage X-Coord Y-Coord
;;-----
```

EPA STORM WATER MANAGEMENT MODEL - VERSION 5.1 (Build 5.1.015)

 WARNING 04: minimum elevation drop used for Conduit conduit4
 WARNING 10: crest elevation raised to downstream invert for regulator Link 8
 WARNING 10: crest elevation raised to downstream invert for regulator Link 9
 WARNING 02: maximum depth increased for Node 10
 WARNING 02: maximum depth increased for Node 12

Element Count

Number of rain gages 6
 Number of subcatchments ... 7
 Number of nodes 12
 Number of links 11
 Number of pollutants 0
 Number of land uses 0

Raingage Summary

Name	Data Source	Data Type	Recording Interval
Chicago_24h	Chicago_24h	INTENSITY	5 min.
Chicago_3h	Chicago_3h	INTENSITY	5 min.
Chicago_4h	Chicago_4h	INTENSITY	5 min.
Lethbridge_1:100year_Chicago_24h	Lethbridge_1:100year_Chicago_24h	INTENSITY	5 min.
Lethbridge_100year_Chicago_4h	Lethbridge_100year_Chicago_4h	INTENSITY	5 min.
Lethbridge_5year_Chicago_4h	Lethbridge_5year_Chicago_4h	INTENSITY	5 min.

Subcatchment Summary

Name	Area	Width	%Imperv	%Slope	Rain Gage	Outlet
lot1s	1.17	140.00	10.00	0.4000	Lethbridge_1:100year_Chicago_24h	Lot2

lot2s	1.56	140.00	10.00	0.6000	Lethbridge_1:100year_Chicago_24h	lot2
lot3s	2.59	130.50	10.00	0.8000	Lethbridge_1:100year_Chicago_24h	lot3
lot4s	2.62	128.00	10.00	0.7000	Lethbridge_1:100year_Chicago_24h	lot4
lot5s	2.66	136.00	10.00	0.3000	Lethbridge_1:100year_Chicago_24h	lot5
lot6s	2.68	130.50	10.00	1.0000	Lethbridge_1:100year_Chicago_24h	lot6
lot7s	2.63	124.50	10.00	0.5000	Lethbridge_1:100year_Chicago_24h	lot7

Node Summary

Name	Type	Invert Elev.	Max. Depth	Ponded Area	External Inflow
10	JUNCTION	897.90	1.00	0.0	
12	JUNCTION	898.20	0.80	0.0	
17	JUNCTION	897.60	1.20	0.0	
18	JUNCTION	897.00	1.80	0.0	
19	JUNCTION	898.06	0.74	0.0	
OF1	OUTFALL	897.80	1.00	0.0	
lot2	STORAGE	898.00	1.00	0.0	
lot3	STORAGE	896.80	1.40	0.0	
lot4	STORAGE	896.80	1.40	0.0	
lot5	STORAGE	897.80	0.60	0.0	
lot6	STORAGE	897.50	0.90	0.0	
lot7	STORAGE	897.80	0.60	0.0	

Link Summary

Name	From Node	To Node	Type	Length	%Slope	Roughness
2	10	OF1	CONDUIT	35.2	0.2844	0.0100
6	18	19	CONDUIT	131.2	-0.3507	0.0100
7	19	10	CONDUIT	163.1	0.0981	0.0100
conduit3	12	17	CONDUIT	125.0	0.4801	0.0100
conduit4	17	18	CONDUIT	120.5	0.0003	0.0100
1	lot7	10	WEIR			
11	lot4	18	WEIR			
8	lot5	19	WEIR			

9	lot6	10	WEIR
bioswale4	Lot2	12	WEIR
W3	lot3	17	WEIR

Cross Section Summary

Conduit	Shape	Full Depth	Full Area	Hyd. Rad.	Max. Width	No. of Barrels	Full Flow
2	TRAPEZOIDAL	1.00	4.00	0.62	6.00	1	15.48
6	TRAPEZOIDAL	0.40	1.20	0.24	5.00	1	2.72
7	TRAPEZOIDAL	0.40	1.20	0.24	5.00	1	1.44
conduit3	TRAPEZOIDAL	0.40	1.20	0.24	5.00	1	3.18
conduit4	TRAPEZOIDAL	0.40	1.20	0.24	5.00	1	0.07

NOTE: The summary statistics displayed in this report are
based on results found at every computational time step,
not just on results from each reporting time step.

Analysis Options

Flow Units CMS
Process Models:
 Rainfall/Runoff YES
 RDII NO
 Snowmelt NO
 Groundwater NO
 Flow Routing YES
 Ponding Allowed NO
 Water Quality NO
Infiltration Method GREEN_AMPT
Flow Routing Method DYNWAVE
Surcharge Method EXTRAN
Starting Date 03/28/2022 00:00:00

Ending Date 03/29/2022 00:00:00
 Antecedent Dry Days 0.0
 Report Time Step 00:01:00
 Wet Time Step 00:01:00
 Dry Time Step 00:05:00
 Routing Time Step 5.00 sec
 Variable Time Step YES
 Maximum Trials 8
 Number of Threads 1
 Head Tolerance 0.001500 m

	Volume	Depth
Runoff Quantity Continuity	hectare-m	mm
*****	-----	-----
Total Precipitation	1.910	120.146
Evaporation Loss	0.000	0.000
Infiltration Loss	1.189	74.799
Surface Runoff	0.720	45.319
Final Storage	0.001	0.064
Continuity Error (%)	-0.030	

	Volume	Volume
Flow Routing Continuity	hectare-m	10^6 ltr
*****	-----	-----
Dry Weather Inflow	0.000	0.000
Wet Weather Inflow	0.720	7.204
Groundwater Inflow	0.000	0.000
RDII Inflow	0.000	0.000
External Inflow	0.000	0.000
External Outflow	0.000	0.000
Flooding Loss	0.000	0.000
Evaporation Loss	0.000	0.000
Exfiltration Loss	0.160	1.605
Initial Stored Volume	0.000	0.000
Final Stored Volume	0.560	5.598
Continuity Error (%)	0.009	

Time-Step Critical Elements

 None

 Highest Flow Instability Indexes

 All links are stable.

 Routing Time Step Summary

 Minimum Time Step : 4.50 sec
 Average Time Step : 5.00 sec
 Maximum Time Step : 5.00 sec
 Percent in Steady State : 0.00
 Average Iterations per Step : 2.00
 Percent Not Converging : 0.00
 Time Step Frequencies :
 5.000 - 3.155 sec : 100.00 %
 3.155 - 1.991 sec : 0.00 %
 1.991 - 1.256 sec : 0.00 %
 1.256 - 0.792 sec : 0.00 %
 0.792 - 0.500 sec : 0.00 %

 Subcatchment Runoff Summary

		Total	Total	Total	Total	Imperv	Perv	Total	Total
Peak	Runoff	Precip	Runon	Evap	Infil	Runoff	Runoff	Runoff	Runoff
Runoff	Coeff								
Subcatchment		mm	mm	mm	mm	mm	mm	mm	10^6 ltr
CMS									

lot1s	120.15	0.00	0.00	72.75	11.99	35.40	47.39	0.56
0.28 0.394								
lot2s	120.15	0.00	0.00	72.92	11.98	35.23	47.22	0.74
0.36 0.393								
lot3s	120.15	0.00	0.00	74.02	11.97	34.13	46.10	1.19
0.47 0.384								
lot4s	120.15	0.00	0.00	74.32	11.97	33.83	45.80	1.20
0.46 0.381								
lot5s	120.15	0.00	0.00	75.69	11.96	32.45	44.41	1.18
0.39 0.370								
lot6s	120.15	0.00	0.00	73.79	11.98	34.35	46.33	1.24
0.51 0.386								
lot7s	120.15	0.00	0.00	78.20	11.97	41.91	41.91	1.10
0.27 0.349								

Node Depth Summary

Node	Type	Average Depth Meters	Maximum Depth Meters	Maximum HGL Meters	Time of Max Occurrence days hr:min	Reported Max Depth Meters
10	JUNCTION	0.00	0.00	897.90	0 00:00	0.00
12	JUNCTION	0.00	0.00	898.20	0 00:00	0.00
17	JUNCTION	0.00	0.00	897.60	0 00:00	0.00
18	JUNCTION	0.00	0.00	897.00	0 00:00	0.00
19	JUNCTION	0.00	0.00	898.06	0 00:00	0.00
OF1	OUTFALL	0.00	0.00	897.80	0 00:00	0.00
Lot2	STORAGE	0.10	0.15	898.15	0 10:30	0.15
lot3	STORAGE	0.09	0.14	896.94	0 10:55	0.14
lot4	STORAGE	0.11	0.17	896.97	1 00:00	0.17
lot5	STORAGE	0.09	0.14	897.94	0 11:31	0.14
lot6	STORAGE	0.09	0.14	897.64	0 10:52	0.14
lot7	STORAGE	0.08	0.14	897.94	0 11:16	0.14

Node Inflow Summary

Node	Type	Maximum Lateral Inflow CMS	Maximum Total Inflow CMS	Time of Max Occurrence days hr:min	Lateral Inflow Volume 10^6 ltr	Total Inflow Volume 10^6 ltr	Flow Balance Error Percent
10	JUNCTION	0.000	0.000	0 00:00	0	0	0.000 ltr
12	JUNCTION	0.000	0.000	0 00:00	0	0	0.000 ltr
17	JUNCTION	0.000	0.000	0 00:00	0	0	0.000 ltr
18	JUNCTION	0.000	0.000	0 00:00	0	0	0.000 ltr
19	JUNCTION	0.000	0.000	0 00:00	0	0	0.000 ltr
OF1	OUTFALL	0.000	0.000	0 00:00	0	0	0.000 ltr
lot2	STORAGE	0.637	0.637	0 07:15	1.29	1.29	0.008
lot3	STORAGE	0.472	0.472	0 07:15	1.19	1.19	0.008
lot4	STORAGE	0.456	0.456	0 07:15	1.2	1.2	0.011
lot5	STORAGE	0.390	0.390	0 07:15	1.18	1.18	0.008
lot6	STORAGE	0.508	0.508	0 07:15	1.24	1.24	0.008
lot7	STORAGE	0.272	0.272	0 07:20	1.1	1.1	0.008

Node Surcharge Summary

No nodes were surcharged.

Node Flooding Summary

No nodes were flooded.

Storage Volume Summary

Average	Avg	Evap	Exfil	Maximum	Max	Time of Max	Maximum
---------	-----	------	-------	---------	-----	-------------	---------

APPENDIX 4

Alberta Transportation

Correspondence from Alberta Transportation

Transportation and Economic Corridors Notice of Referral Decision

Statutory Plan in Proximity of a Provincial Highway

Municipality File Number:	Bylaw 23-021 and Bylaw 23-022	Highway(s):	3, 4X, 512
Legal Land Location:	QS-SE SEC-01 TWP-009 RGE-21 MER-4	Municipality:	Lethbridge County
Decision By:	Leah Olsen	Issuing Office:	Southern Region / Lethbridge
Issued Date:	March 6, 2024	AT Reference #:	RPATH0036927
Description of Development:	Area Structure Plan and Rezoning Bylaw Applications.		



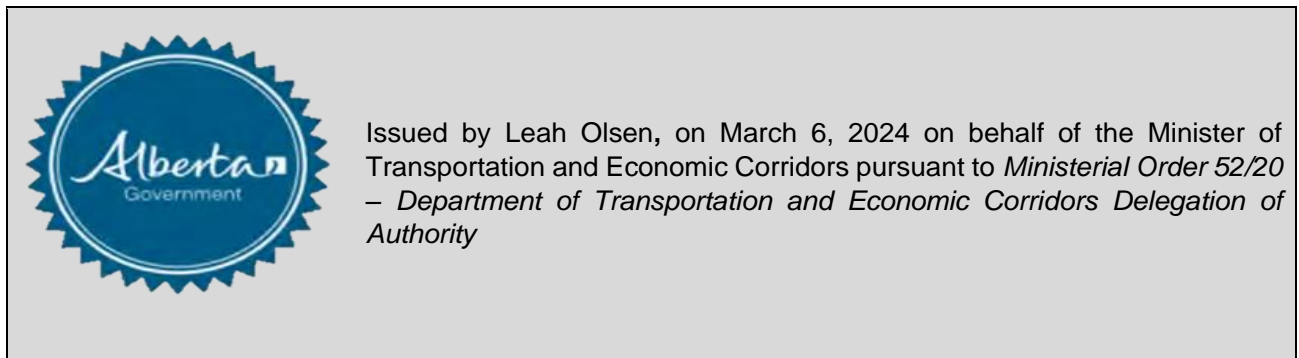
Transportation and Economic Corridors met with Developer Mr. Blair Frache and representatives of Lethbridge County on Wednesday, February 14, 2024, to discuss the outcome of the Traffic Impact Assessment Memorandum prepared by WATT Consulting Group dated December 6, 2023, File No. 4157.T01 (attached).

Section 7.0 Conclusions & Recommendations indicates a Type IIIb intersection treatment would be required, however during discussions on February 14, 2024, Transportation and Economic Corridors advised a south bound to west bound right taper at Range Road 201A and Highway 512 would be satisfactory at this time.

Please submit detailed drawings and an application through RPATH for the proposed intersection upgrades.

It should also be noted that the most westerly direct highway access to this property will need to be removed which will be a condition of subdivision.

Please contact Transportation and Economic Corridors through the [RPATH Portal](#) if you have any questions, or require additional information.





WATT CALGARY
1300 – 736 6th Ave SW
Calgary, AB T2P 3T7
403-273-9001

MEMORANDUM

Date: December 6, 2023
To: Leah Olsen, ATEC
Cc: Blair Frache
From: Brendan Stevenson, WATT
William Minchin, WATT
Our File No: 4157.T01
Subject: Transportation Review of SE-1-9-21-W4

1.0 INTRODUCTION & PROPOSED DEVELOPMENT

WATT Consulting Group (WATT) was retained by Mr. Blair Frache to prepare a memo according to the guidelines from Alberta Transportation and Economic Corridors (ATEC), to support the proposed development and to outline any improvements needed to the highway network. The proposed development includes subdividing the western portion of approximately 40 acres of SE-1-9-W4 into 7 lots. As illustrated in **Figure 1**, this development is located immediately north of Highway 512 between Range Road 210 and Range Road 211, to the east of Lethbridge.

Two of these lots along the south edge are anticipated to be residential only, while the remaining five are expected to support combination residential / light industrial (“work/live”) applications. The subject property currently has one house but is otherwise used for agricultural purposes. The existing house has direct access onto Highway 512, which runs along the south side of the property; it is proposed that this house and access will remain. There is a public road, Range Road 210A, that runs along the west side of the property, and it is proposed that the remaining lots will have access via this road.

The study area is limited to the development outlined above and the intersection of Highway 512 and Range Road 210A.

The existing Highway 512 (also known as Jail Road) has a service classification of Level 4 (within a small metropolitan area) and a functional classification of *Rural Collector Undivided* (RCU). The development is within Control Section 2.

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Figure 1: Site Situation

2.0 EXISTING CONDITIONS

The existing Highway 512 is a two-lane undivided highway with minimal shoulders and a posted limit through the study area of 100 km/h, with an assumed design speed of 110 km/h (i.e. 10 km/h higher than the posted speed limit). The road is effectively flat

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and level within the study area. Highway 512 is free flow at the intersection of Range Road 210A, while Range Road 210A operates under a stop condition.

The intersection of Highway 512 and Range Road 210A, located on the southwest corner of the property, is currently a Type I intersection, with no additional acceleration or deceleration lanes.

It is noted that the study intersection includes a driveway on the south approach that services an agricultural property. During the data collection, no traffic volumes were recorded for this approach and have therefore been left out of the traffic volume figures below.

3.0 2043 HORIZON BACKGROUND TRAFFIC

Background traffic volumes for the intersection of Highway 512 and Range Road 210A were established using an AM (7:00-9:00) and PM (16:00-18:00) peak hour count completed on Tuesday, October 17, 2023¹. Resulting turning movement volumes, as counted, are presented in **Figure 2**. Using a k-factor of 0.116², an AADT of 2,850 was calculated along Highway 512 and 200 on Range Road 210A.

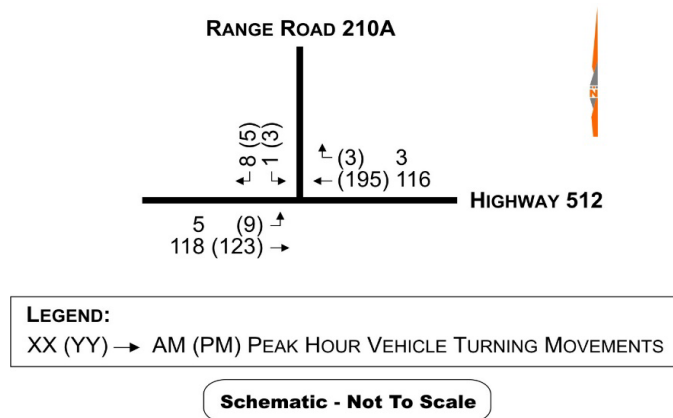


Figure 2: Existing Traffic Volumes, As Counted, AM & PM Peak Hours

¹ Data provided by Client. Although there is a driveway forming a de-facto south leg to the intersection, no volume to or from this leg was recorded, and it has been excluded from volume figures for clarity.

² Calculated from the Alberta Transportation traffic count of Highway 4 / Highway 512 (2022).

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The PM Peak Hour volumes were found to be higher than the AM Peak Hour volumes, and so the PM Peak Hour was used for design purposes.

Existing volumes along Highway 512 were grown to a 20-year horizon using an annual linear growth rate of 2%, resulting in a future AADT of 4,000 along Highway 512. No growth rate was applied to Range Road 210A, given the limited growth potential volumes³. This background traffic, including the 20 years of growth, is shown in **Figure 3** for the PM peak hour.

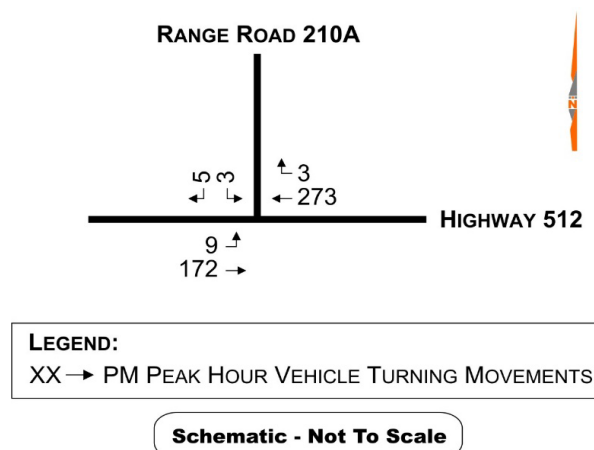


Figure 3: Background Traffic, 20 Year Projection, PM Peak Hour

4.0 TRIP GENERATION

Trip generation rates associated with the proposed development reflect local rates developed from a traffic count⁴ at an existing development with comparable land use. Resulting trip generation for the live / work units include:

- AM Peak Hour 4 vehicles / unit (50% inbound / 50% outbound)

³ With the completion of this development, the catchment area of Range Road 210A will be saturated.

⁴ Traffic Count provided by Client, Tuesday, October 24, 2023.

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- PM Peak Hour 4 vehicles / unit (50% inbound / 50% outbound)

The existing farmhouse accessed via Highway 512 is not considered in this generated traffic and is reflected in the background volumes. **Table 2** summarized the anticipated generated traffic.

Table 1: Trip Generation

Land Use	Units	Trips Generated, AM Peak Hour			Trips Generated, PM Peak Hour		
		Total	IB	OB	Total	IB	OB
Live/Work	6	24	12	12	24	12	12

Traffic generated by the development is assumed to follow the same directional split as the existing traffic to and from Range Road 210A, as noted in **Table 3** and **Table 4**. Assigned Development Traffic generated is shown in **Figure 4**.

Table 2: Directional Split for Inbound Trips

	Existing Trips Entering from...		Direction Split		Assigned Inbound Tirps	
	East	West	East	West	East	West
AM Peak	4	5	44%	56%	5	7
PM Peak	5	14	26%	74%	3	9

Table 3: Directional Split for Outbound Trips

	Existing Trips Leaving to...		Direction Split		Assigned Outbound Tirps	
	East	West	East	West	East	West
AM Peak	3	10	23%	77%	3	9
PM Peak	4	7	36%	64%	4	8

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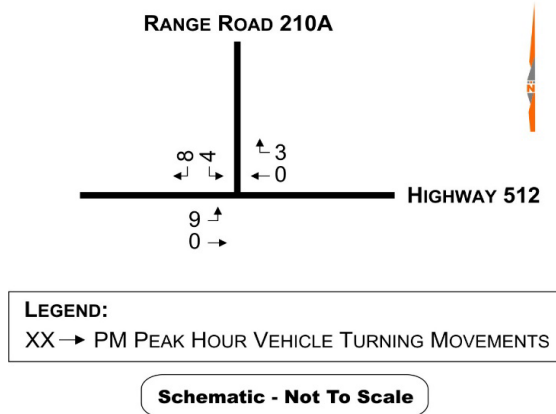


Figure 4: Site Generated Traffic, Full Build Out, PM Peak Hour

5.0 2043 HORIZON POST-DEVELOPMENT TRAFFIC

Post development traffic volumes were determined by adding the background (Figure 3) and site generated traffic (Figure 4), with the resulting 2043 traffic volumes illustrated in Figure 5.

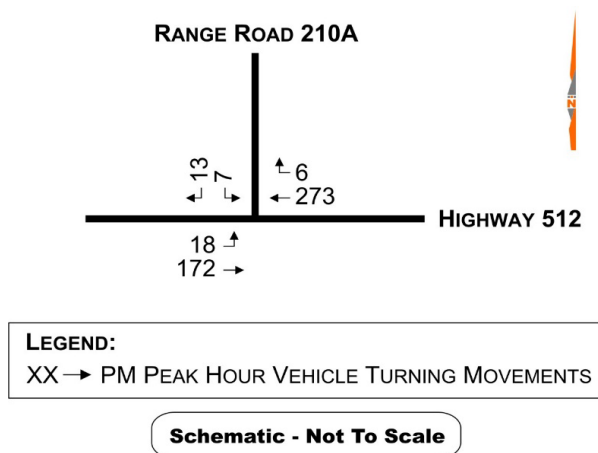


Figure 5: Combined Traffic, 20 Year Projection, PM Peak Hour

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Date: 2023-12-06

To: Leah Olsen, ATEC

Subject: Transportation Review of SE-1-9-21-W4

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6.0 INTERSECTION TREATMENT WARRANT FOR HIGHWAY 512 AND RANGE ROAD 210A

ATEC has a published warrant procedure for determining intersection treatments along provincial highways⁵. The warrant was applied, using the PM Peak Hour as the design hour, as it was found to have higher traffic volumes than the AM Peak Hour. The volumes used for the intersection treatment warrants are detailed in **Table 4**.

Table 4: Traffic Volumes for Intersection Treatment Warrant

	Background	Post-Development	Notes
VI	9	18	Left turning volume
V _A	181	190	Advancing volume
L	5.0%	9.5%	% of left turns
V _O	276	279	Opposing volume

For the intersection treatment warrants, a design speed of 110 km/h was assumed (i.e. 10 km/h above the posted speed limit).

Based on the projected background traffic volumes, the intersection warrant treatment was completed (see **Figure 6**), and the appropriate treatment is right on the border between a Type II and a Type III treatment.

Based on the projected development traffic volumes, a second intersection warrant treatment was also completed (see **Figure 7**), and appropriate the treatment is a Type III treatment. Because there is a farmhouse access to the south at the intersection of Highway 512 and Range Road 210A, the appropriate Type III intersection design is the Type IIIb design, as shown in **Figure 8**.

⁵ Highway Geometric Design Guide, by Alberta Transportation. See Chapter D: At-Grade Intersections, last updated March 2023.

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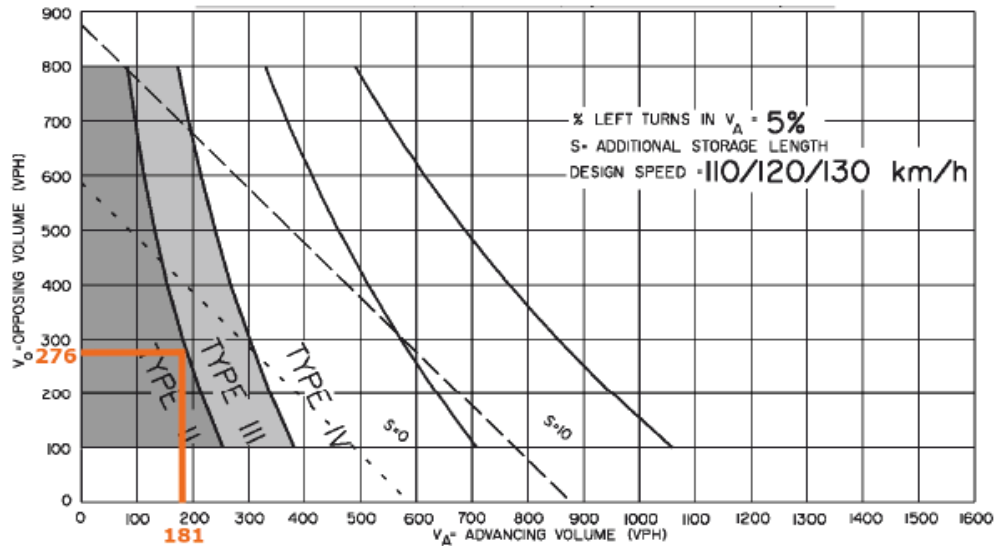


Figure 6: Warrant for Left Turn Lanes for Two-Lane Highways, Design Speed 110 km/h, Left Turn 5%⁶

It is remarked that intersection treatments (beyond Type I, i.e. those adding acceleration, deceleration, and left turn storage lanes) are currently rare along the 27 km length Highway 512, only occurring at the two termini of Highway 512 (at Highway 4, 4 km to the west, and Highway 3 to the northeast), at the intersection with Highway 845 (immediately south of Coaldale, 7.2 km to the east of the project) and the intersection with Township Road 92 (immediately east of Coaldale).

It is noted that the existing farmhouse access within the proposed development will fall within the functional area of the intersection. This access located on the north side of the highway, approximately 135m east of the intersection.

There is a second existing farmhouse access immediately south of the proposed development, whose access forms a de-facto south leg to the intersection. However, no volume from this leg was recorded, and so no intersection treatment is warranted based on movements to or from this leg.

⁶ Figure D-7.6.7a in Alberta Transportation's Highway Geometric Design Guide

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Date: 2023-12-06

To: Leah Olsen, ATEC

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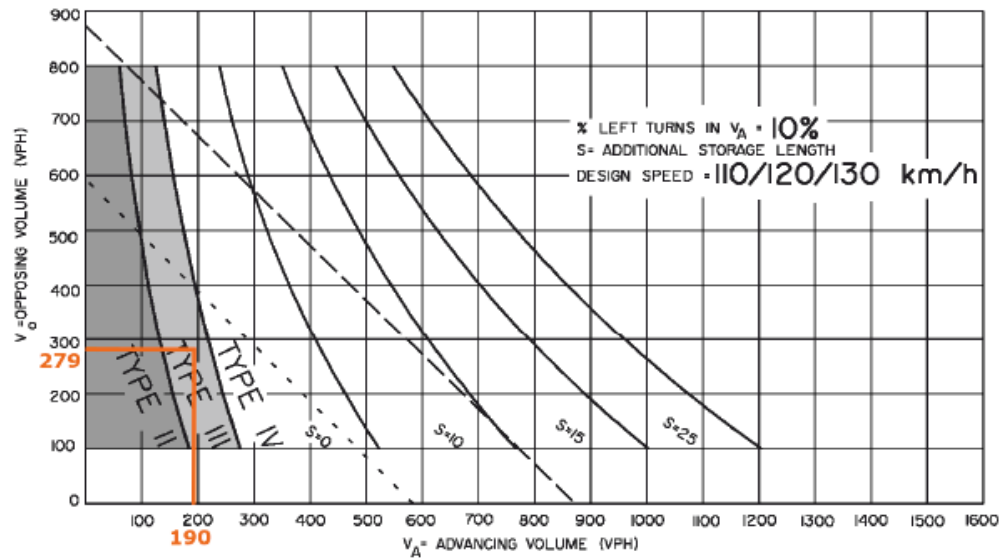


Figure 7: Warrant for Left Turn Lanes for Two-Lane Highways, Design Speed 110 km/h, Left Turn 10%⁶

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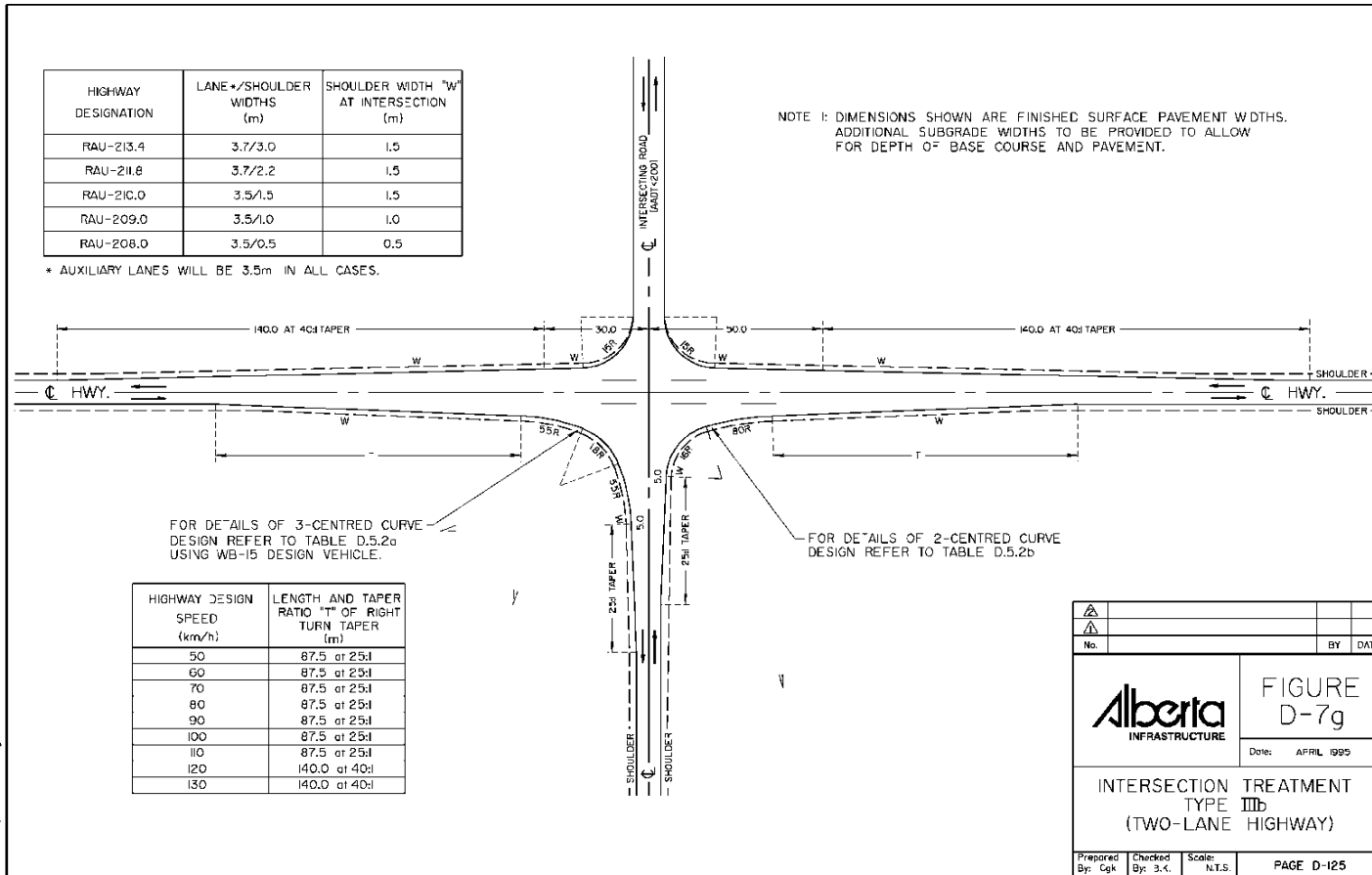


Figure 8: Intersection Treatment Type IIIb (Two Lane Highway)

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Date: 2023-12-06

To: Leah Olsen, ATEC

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7.0 CONCLUSIONS & RECOMMENDATIONS

The proposed development is located to the north of Highway 512 and east of Range Road 210A and is anticipated to include both residential and industrial land use on a 40 acre parcel.

As indicated in the body of the report, existing and future traffic volumes in the 2043 horizon are not anticipated to cause any intersection operation concerns. According to an intersection treatment review, a Type IIIb intersection treatment will be required to support traffic in the 2043 horizon year, with or without the development going forward.

Sincerely,
WATT Consulting Group

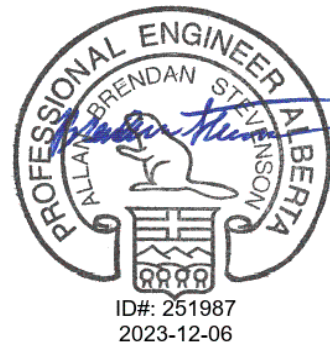
Brendan Stevenson, PEng, PTOE, PMP
Regional Lead Transportation

T 403-273-9001 ext. 728

C 587-432-3282

E bstevenson@wattconsultinggroup.com

#WEAREWATT



PERMIT TO PRACTICE	
WATT CONSULTING GROUP LTD.	
RM Signature	<u>B. Stevenson</u>
RM APEGA ID #:	<u>79691</u>
Date:	<u>Dec.6, 2023</u>
PERMIT NUMBER: P003818	
The Association of Professional Engineers and Geoscientists of Alberta (APEGA)	

APPENDIX 5

LETTER TO NEIGHBORS

Letter and Drawings to Neighbors



CONSULTING ENGINEERS, PLANNERS & LAND SURVEYORS
255 – 31st Street North, Lethbridge, Alberta, T1H 3Z4
PH: (403) 329-0050 FAX: (403) 329-6594
Email: geomart@mgcl.ca

March 25, 2024

File: 229729CE

Dear Neighbor:

**Re: Proposed Land Development – Country Side - Area Structure Plan
Lethbridge County, Alberta**

We are pleased to provide this notification and to seek your feedback regarding a new residential development called Country Side, being planned in your community. We are preparing an Area Structure Plan and County Land Use Bylaw Amendment in support of this seven-lot development at the northeast corner of the intersection of Highway 512 (Jail Road) and Range Road 210A. The southerly 140 meters (459 feet) will be rezoned to Country Residential (CR), with a 3.0 acre and 4.0 acre lot that would face south onto Highway 512.

We are proposing Direct Control (DC) zoning for the balance of the property, which would have five, 6 acre lots along the east side of Range Road 210A. This zone would provide a Country Residential use on the west side of each lot with provisions made to allow light industrial uses at the rear of these lots. The light industrial use would be required to have a setback of at least 75 meters from the front property line with at least two rows of trees providing screening along the setback line. Attached is a concept plan that shows the lot boundaries and setbacks.

The County of Lethbridge's Industrial Commercial Land Use Strategy recommends that this site be used for a mixed use of residential and/ or light industrial. The balance of the quarter section is envisioned as Light industrial or commercial uses. The residential portion of the Countryside ASP provides a buffer for existing residential properties to the west, from this light industrial land use.

It is anticipated that potable water will be provided from the County of Lethbridge Rural water coop or County approved alternative; septic systems will be used to provide for wastewater and gas, electrical, telephone and irrigation water will be available to all lots. To assist in accessing the highway, an acceleration lane will be added to the west bound lane of Highway 512 at the intersection with Range Road 210A.

In order to manage storm water, each lot will be required to store water from the in 100-year storm event in ponds at the back of their lot.

Architectural Controls will be registered on title and are intended to help ensure a high-quality development that would fit into the current community.



If you have any comments or questions with regard to the Countryside Area Structure Plan or the proposed new zoning, please email your concerns to Ed Martin, P. Eng., at edm@mqcl.ca or telephone at 403-329-0050 and we will be happy to address your concerns.

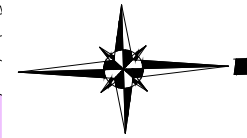
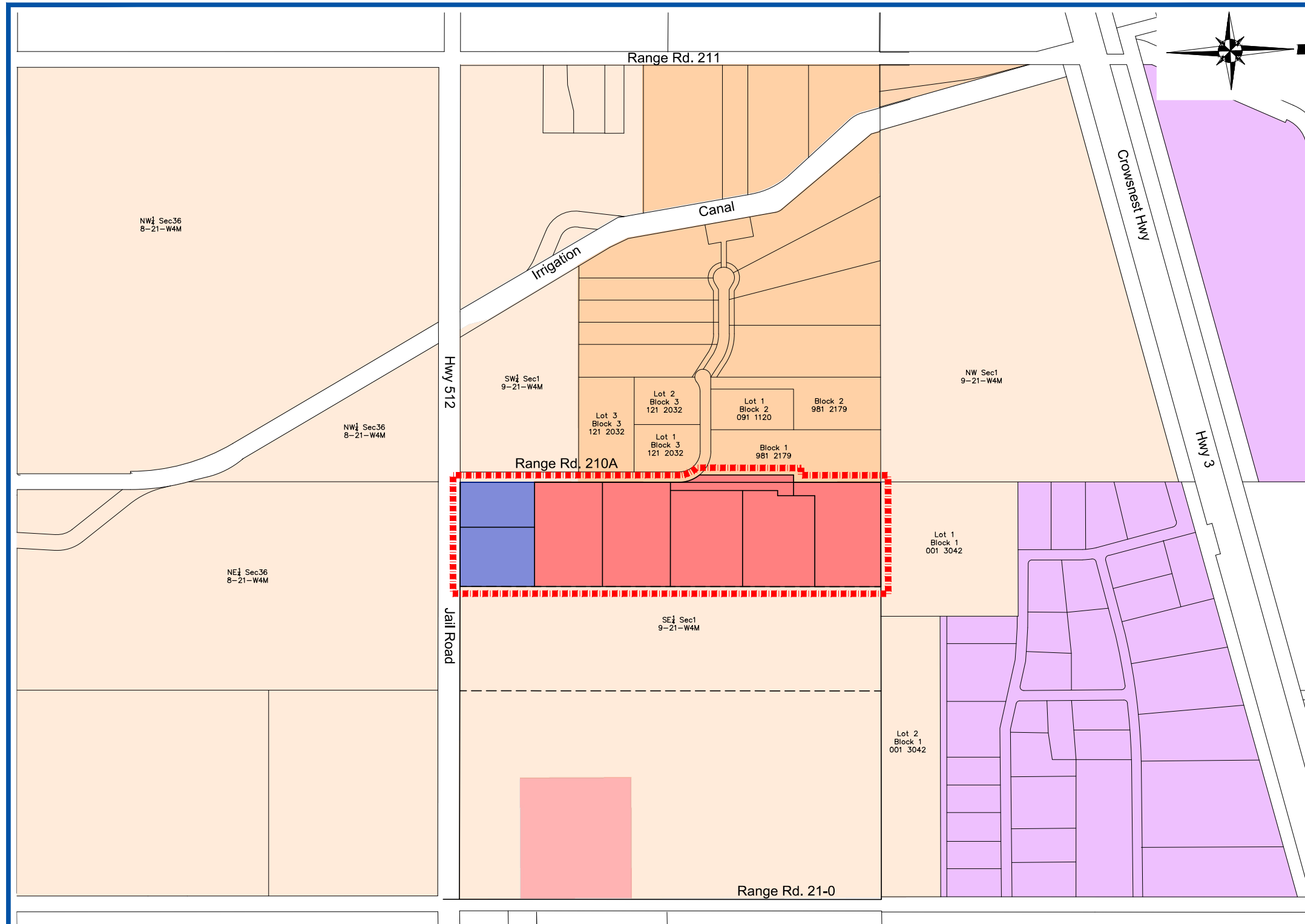
Please provide any comments by **April 12th, 2024** and we will work to address any comments received.

If you do not have any concerns with the proposed development, please read and sign the box below:

<p>I, _____ (print names),</p> <p>of _____(address),</p> <p>have received the letter and concept drawings from MGCL, dated March 25, 2024 outlining the planned 7 lot development at the northeast corner of the intersection of Highway 512 (Jail Road) and Range Road 210A.</p> <p>I have reviewed the letter and concept plans and have no concerns with the proposed development at this time, based on the information received.</p> <p>Regards,</p> <p>_____ (sign names)</p> <p>_____ (date)</p>

Thank you.





- LEGEND:**
- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
 - EXISTING:**
 - EXISTING: LETHBRIDGE URBAN FRINGE (LUF)
 - EXISTING: GROUPED COUNTRY RESIDENTIAL (GCR)
 - EXISTING: RURAL GENERAL INDUSTRIAL (RGI)
 - EXISTING: RURAL COMMERCIAL (RC)
 - PROPOSED:**
 - FROM: LETHBRIDGE URBAN FRINGE (RA)
TO: DIRECT CONTROL (DC)
 - FROM: LETHBRIDGE URBAN FRINGE (RA)
TO: GROUPED COUNTRY RESIDENTIAL (GCR)

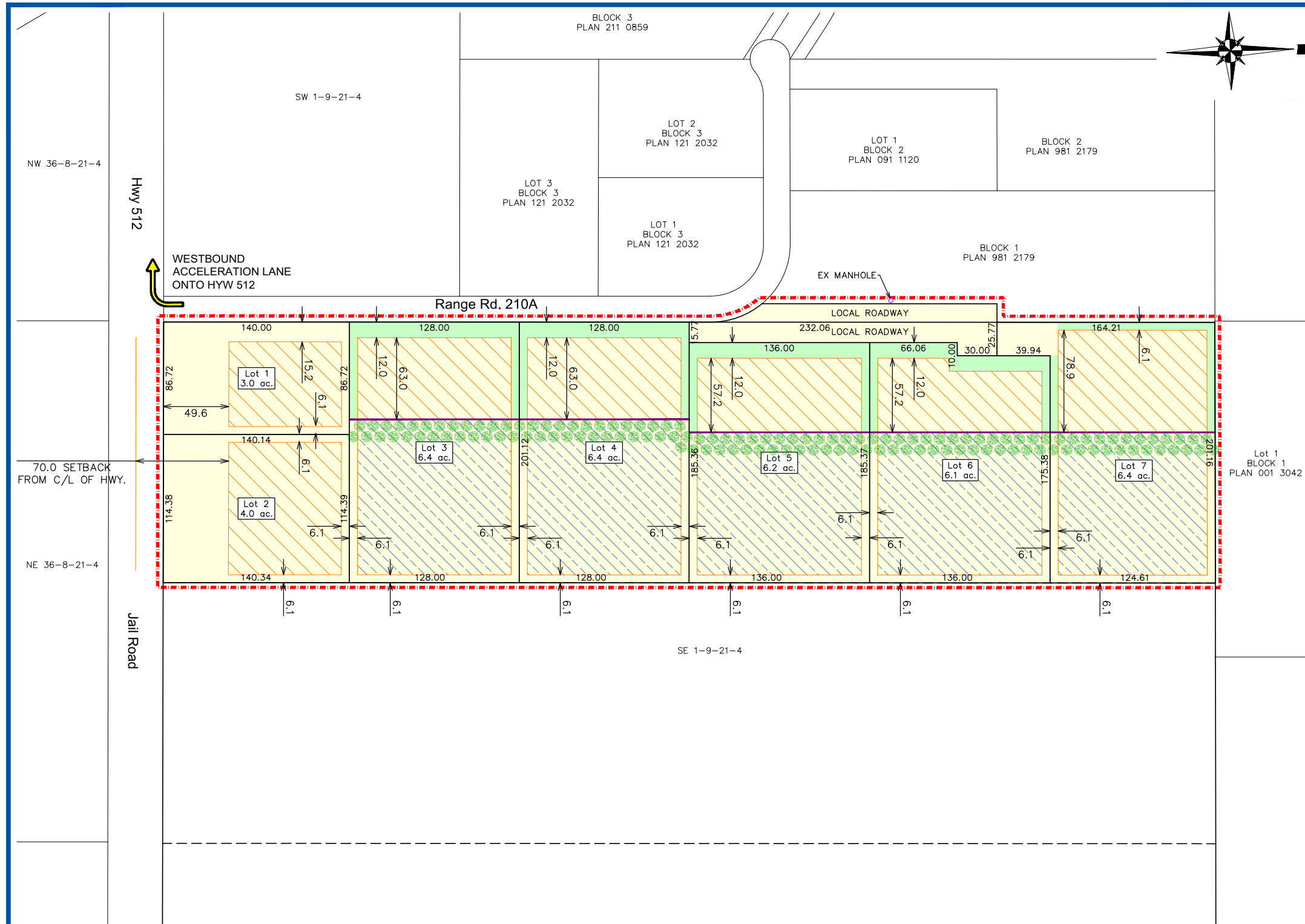
1: 7500

Country Side Subdivision
AREA STRUCTURE PLAN
 Mar 25, 2024

LAND USE
FIGURE 1

MARTIN
GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS



LEGEND:

- AREA STRUCTURE PLAN BOUNDARY
Area = 40.06 acres (16.21 ha)
- LANDSCAPED AREA
C/W IRRIGATED GRASS
- BUILDABLE AREA FOR THE
RESIDENTIAL DWELLINGS AND
ACCESSORY BUILDING USED AS A
GARAGE OR OTHER SIMILAR
RESIDENTIAL PURPOSE.
- 2 ROWS OF TREES
MAX SPACING EQUAL TO THE
RECOMMENDED SPACING FOR
THAT SPECIES
(TO BE DETERMINED)
- BUILDABLE AREA FOR
RESIDENTIAL DWELLINGS AND
LIGHT INDUSTRIAL

LOT DIMENSIONS ARE CONCEPTUAL AND MAY BE CHANGED DURING THE SUBDIVISION PROCESS.

1: 3000

Country Side Subdivision
 AREA STRUCTURE PLAN
 Mar 25, 2024

CONCEPTUAL LOT LAYOUT & SETBACKS
 FIGURE 2

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 255-31st Street North Lethbridge, Alberta T1H 3Z4
 Ph: (403) 329-0050 E-mail: geomart@mg1.ca Fax: (403) 329-6594

229729LS

**LETHBRIDGE COUNTY
IN THE PROVINCE OF ALBERTA**

BYLAW NO. 23-021

**A BYLAW OF LETHBRIDGE COUNTY BEING A BYLAW PURSUANT TO
SECTION 633(1) OF THE MUNICIPAL GOVERNMENT ACT, REVISED
STATUTES OF ALBERTA 2000, CHAPTER M.26**

WHEREAS the landowners wish to develop the following lands;

- Meridian 4 Range 21 Township 9 Section 1
The most westerly 195 feet throughout the west half of legal subdivision 2 and 7 in the southeast quarter containing 4.77 hectares (11.8 acres) more or less

And

- Meridian 4 Range 21 Township 9 Section 1
Those portions of the west halves of legal subdivisions 2 and 7 in the southeast quarter which lies to the east of the west 195 feet thereof, containing 11.3 hectares (28.2 acres) more or less

AND WHEREAS the County's Municipal Development Plan and the Lethbridge County and City of Lethbridge Intermunicipal Development Plan requires that developers prepare an Area Structure Plan to ensure sound development occurs within Lethbridge County;

AND WHEREAS the total area considered by the Area Structure Plan is approximately 16.07 hectares (40 acres);

AND WHEREAS the landowner/developer have prepared the "Country Side Area Structure Plan" which contains engineering, survey, and geotechnical information to support the above conditions.

NOW THEREFORE BE IT RESOLVED, under the Authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta, 2000, Chapter M-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following:

1. The "Country Side Area Structure Plan" Bylaw No. 23-021, attached as "Appendix A".

GIVEN first reading this 20th day of June, 2024.

Reeve

CAO

GIVEN second reading this _____ day of _____, 20____.

Reeve

CAO

GIVEN third reading this _____ day of _____, 20_____.

1 st Reading	June 20, 2024
2 nd Reading	
Public Hearing	
3 rd Reading	

Reeve

CAO



LETHBRIDGE COUNTY
APPLICATION FOR A
LAND USE BYLAW AMENDMENT
Pursuant to Bylaw No. 1404

Form C

Direct Control Portion

OFFICE USE		
Date of Application: <u>July 28, 2023</u>	Assigned Bylaw	No. <u>23-022</u>
Date Deemed Complete: <u>July 28, 2023</u>	Application & Processing Fee:	\$ <u>2000.00</u>
Redesignation <input checked="" type="checkbox"/> Text Amendment <input type="checkbox"/>	Certificate of Title Submitted:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

A refusal is **not** appealable and a subsequent application for amendment involving the same lot and/or the same or similar use may not be made for at least 18 months after the date of refusal. (Refer to sections 53(1))

IMPORTANT NOTE: Although the Development Officer is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as official consent.

APPLICANT INFORMATION

Name of Applicant: Ed Martin

Mailing Address: 255 – 31 Street North **Phone:** (403) 330-5303
Lethbridge, AB **Phone (alternate):** _____
Fax: (403) 329- 6594

Postal Code: T1H 3Z4

Is the applicant the owner of the property? Yes No

IF "NO" please complete box below

Name of Owner: Blair Frache **Phone:** (403) 382- 8984

Mailing Address: Box 426
Coaldale, AB

Applicant's interest in the property:
 Agent
 Contractor
 Tenant
 Other Consultant

Postal Code: T1M 1M4

PROPERTY INFORMATION

Municipal Address: _____

Legal Description: Lot(s) _____ Block _____ Plan _____
OR Quarter Ptn. W 1/2 of the SE 1/4 Section 1 Township 9 Range 21

AMENDMENT INFORMATION

What is the proposed amendment?

Text Amendment

Land Use Redesignation

IF TEXT AMENDMENT:

For text amendments, attach a description including:

- The section to be amended;
- The change(s) to the text; and
- Reasons for the change(s).

IF LAND USE REDESIGNATION:

Current Land Use Designation (zoning):

Lethbridge Urban Fringe

Proposed Land Use Designation (zoning) (if applicable):

Direct Control

SITE DESCRIPTION:

Describe the **lot/parcel dimensions** _____ and **lot area/parcel acreage** 33.09 Acres
Indicate the information on a scaled PLOT or SITE PLAN: (0-4 acres at 1" = 20'; 5-9 acres at 1"= 100'; 10 acres or more at 1"=200')

- Site or Plot Plan Attached**
- Conceptual Design Scheme or Area Structure Plan Attached**

OTHER INFORMATION:

Section 52 of the Land Use Bylaw regulates the information required to accompany an application for redesignation. Please **attach a descriptive narrative** detailing:

- The existing and proposed future land use(s) (i.e. details of the proposed development);
- If and how the proposed redesignation is consistent with applicable statutory plans;
- The compatibility of the proposal with surrounding uses and zoning;
- The development suitability or potential of the site, including identification of any constraints and/or hazard areas (e.g. easements, soil conditions, topography, drainage, etc.);
- Availability of facilities and services (sewage disposal, domestic water, gas, electricity, fire protection, schools, etc.) to serve the subject property while maintaining adequate levels of service to existing development; and
- Access and egress from the parcel and any potential impacts on public roads.

In addition to the descriptive narrative, an Area Structure Plan or Conceptual Design Scheme may be required in conjunction with this application where:

- redesignating land to another district;
- multiple parcels of land are involved;
- four or more lots could be created;
- several pieces of fragmented land are adjacent to the proposal;
- new internal public roads would be required;
- municipal services would need to be extended; or
- required by Council, or the Subdivision or Development Authority if applicable.

The applicant may also be required to provide other professional reports, such as a:

- geotechnical report; and/or
 - soils analysis; and/or
 - evaluation of surface drainage or a detailed storm water management plan;
 - and any other information described in section 52(2) or as deemed necessary to make an informed evaluation of the suitability of the site in relation to the proposed use;
- if deemed necessary.

SITE PLAN

Plans and drawings, in sufficient detail to enable adequate consideration of the application, must be submitted in **duplicate** with this application, together with a plan sufficient to identify the land. It is desirable that the plans and drawings should be on a scale appropriate to the development. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared. Council may request additional information.

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application. I/We have read and understand the terms noted below and hereby **certify that the registered owner of the land is aware of, and in agreement with this application.**



APPLICANT

REGISTERED OWNER
(if not the same as applicant)

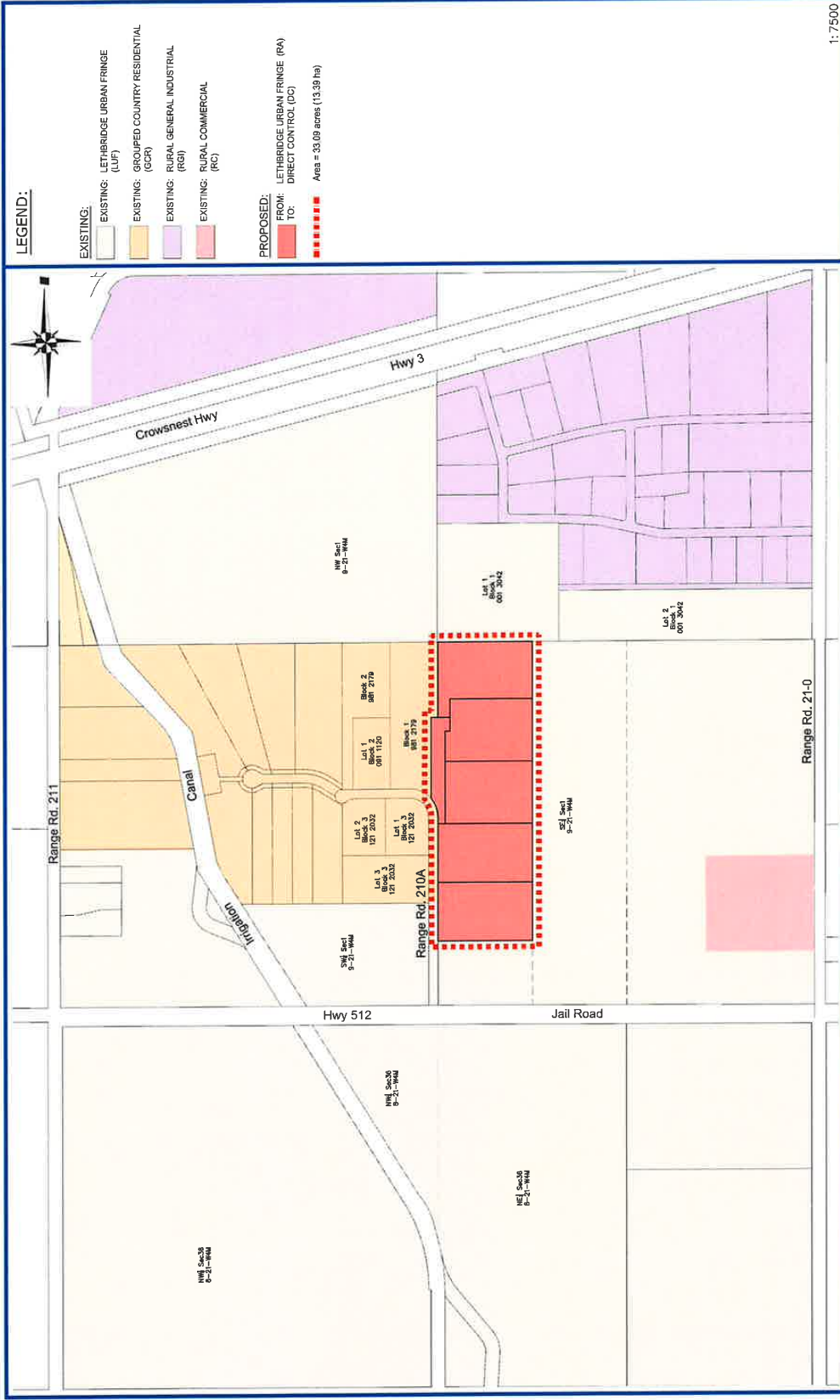
DATE: JULY 10/23

IMPORTANT: This information may also be shared with appropriate government/ other agencies and may also be kept on file by the agencies. This information may also be used by and for any or all municipal programs and services. Information provided in this application may be considered at a public meeting. The application and related file content will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact Lethbridge County.

TERMS

1. Subject to the provisions of the Land Use Bylaw No. 1404 of Lethbridge County, the term "development" includes any change in the use, or intensity of use, of buildings or land.
2. Pursuant to the municipal development plan, an area structure plan or conceptual design scheme may be required by Council before a decision is made.
3. A refusal is not appealable and a subsequent application for redesignation (reclassification) involving the same or similar lot and/or for the same or similar use may not be made for at least 18 months after the date of a refusal.
4. An approved redesignation (reclassification) shall be finalized by amending the land use bylaw map in accordance with section 692 of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26.

Note: Information provided or generated in this application may be considered at a public meeting.



1:7500

MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners, and Land Surveyors
 2025 - 2026
 1000 - 1000
 1000 - 1000
 1000 - 1000

LAND USE

Country Side Subdivision
 LAND USE AMENDMENT FROM LUF TO DC
 July 2023

2207291.S

Country Side Direct Control Bylaw

1. PURPOSE

To provide a means whereby Council may regulate and control the use, development or subdivision, on a site-specific basis, the lands described on Schedule A.

To provide a clustered residential development with high quality large lots. The larger residential lots shall allow for larger accessory buildings and provide opportunities for more intense home occupations. No stand-alone businesses or use areas shall be permitted without a residence on the property. Careful site planning and more intense landscaping will be required to help buffer the on-site industrial/ commercial development and the proposed industrial/ commercial development to the east from the existing Grouped Country Residential development.

Definitions shall be as shown in Part 8 of the Land Use Bylaw No. 1404.

2. PERMITTED, DISCRETIONARY AND PROHIBITED USES

(1) Permitted Uses

Accessory Buildings, Structure and Uses to an Approved Permitted Use.

Day Homes

Dwellings:

Single detached Site-built

Single detached Manufactured Homes 1 (see Part 4, Section 20)

Single detached Ready-to-move (see Part 4, Section 22)

Secondary Suites (contained within a single detached dwelling (see Part 4, Section 22)

Home Occupations 1, 2, and 3 (see Part 4, Section 22)

Signs Type 1 (in accordance with Part 5)

Solar Collectors, individual, for dwellings and accessory buildings (See Part 6, Section 2)

Bed and Breakfast (see Part 4, Section 9)

Day Care (see Part 4, Section 14)

Business Support Services

Offices, Public and Private

Professional Services

Technology Centres/ Hubs

Automotive Detail (see Part 4, Section 6)

Contractor Trade Shops

- d. any reasonable measures to ensure any other requirements of this Land Use Bylaw are complied with;
- e. any measures to adequately ensure applicable provincial legislation such as the *Safety Codes Act* is complied with or not compromised.
- f. The Development Authority will provide direction as to which sections of the Bylaw are relevant and applicable to each particular lot.

5. LOT SIZE

- (1) Lot sizes shall be as shown conceptually on FIGURE 1 and shall not be less than 6.0 acres.
- (2) The residential portion of each lot shall be the front 75 meters of each lot or as shown in Figure 1
- (3) The balance of each lot shall be used and referred to as the light industrial portion of each lot.

6. ACCESS

- (1) All access shall be located as shown on FIGURE 1.
- (2) The municipality may, at the time of subdivision or development, require the developer to enter into an agreement for the construction of any approach (es) necessary to serve the lot or development area in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards.
- (3) To ensure proper emergency access, all developments shall have direct legal and developed physical access to a public roadway in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards. If the development is within 304.8 metres (¼ mile) of a provincial highway, direct legal and physical access to a public roadway shall be to the satisfaction of Alberta Transportation.
- (4) A shared local service road or the construction of shared accesses/approaches may be required to be provided by the developer of multi-lot subdivisions in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards

7. SUBDIVISION

After the initial subdivision of a parcel, no further subdivision of any lot shall be allowed. Council, acting in the capacity of the Subdivision Authority, shall make decisions on any future subdivision applications with respect to this bylaw.

(2) **Front Yards**

Front yards setbacks shall be a minimum of 12 meters (39.4 ft) from the front property line adjacent or as shown in Figure 1

(3) **Special Setback Requirements**

Setbacks for residential buildings and accessory buildings shall be in accordance with FIGURE 1 or as specified by the Development Authority.

11. BUILDING SIZE & SITING REQUIREMENTS

(1) Unless Specified elsewhere in this bylaw, the maximum percentage of the site that may be covered by buildings and structures shall be:

a. As determined by the Development Authority – no building, structure or driveway shall be located within the area or setbacks required or identified to treat private septic sewage;

b. Established in an adopted area structure plan design scheme.

c. In accordance with the Land Use Bylaw No. 1404.

(2) No building, structure or driveway shall be located within the area required for drainage swales, drainage storage, sanitary sewer, septic fields, or any easements.

(3) Where a structure is attached to the principal building by a roof, an open or closed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.

(4) The total combined area of all structures within each lot boundary shall be no greater than 10% of the lot gross area of that lot.

(5) The maximum total area of a residential dwelling and its accessory buildings in the residential portion of the lot shall be 12,000 sq ft. The maximum size of an accessory building in the residential portion of a lot shall be 3,000 sq ft. The maximum height of buildings in this portion of a lot is 25.0 ft.

(6) The maximum total area of all the buildings in the light industrial portion of a lot shall be 12,000 sq ft. More than one accessory building is permitted in the light industrial portion of the lot, provided the maximum total area doesn't exceed 12,000 sq. ft. The maximum height for accessory buildings in the light industrial portion of a lot is 35 ft.

(7) Secondary suites in a detached garage will not be allowed unless firstly, there is an approved principal building.

12. ACCESSORY BUILDING

(1) An accessory building or structure on both the residential and industrial portion of the lot shall only be constructed in conjunction with an approved principal building or use and not be used as a permanent dwelling.

(2) An accessory building shall not be located in the required setback from a public road or on an easement.

15. ARCHITECTURAL CONTROLS

All development must comply with any approved architectural controls. Proof of compliance to the applicable architectural controls is required at the time of submission of a development permit application and upon final grading approval. Copies of these approvals must be submitted to the Development Authority.

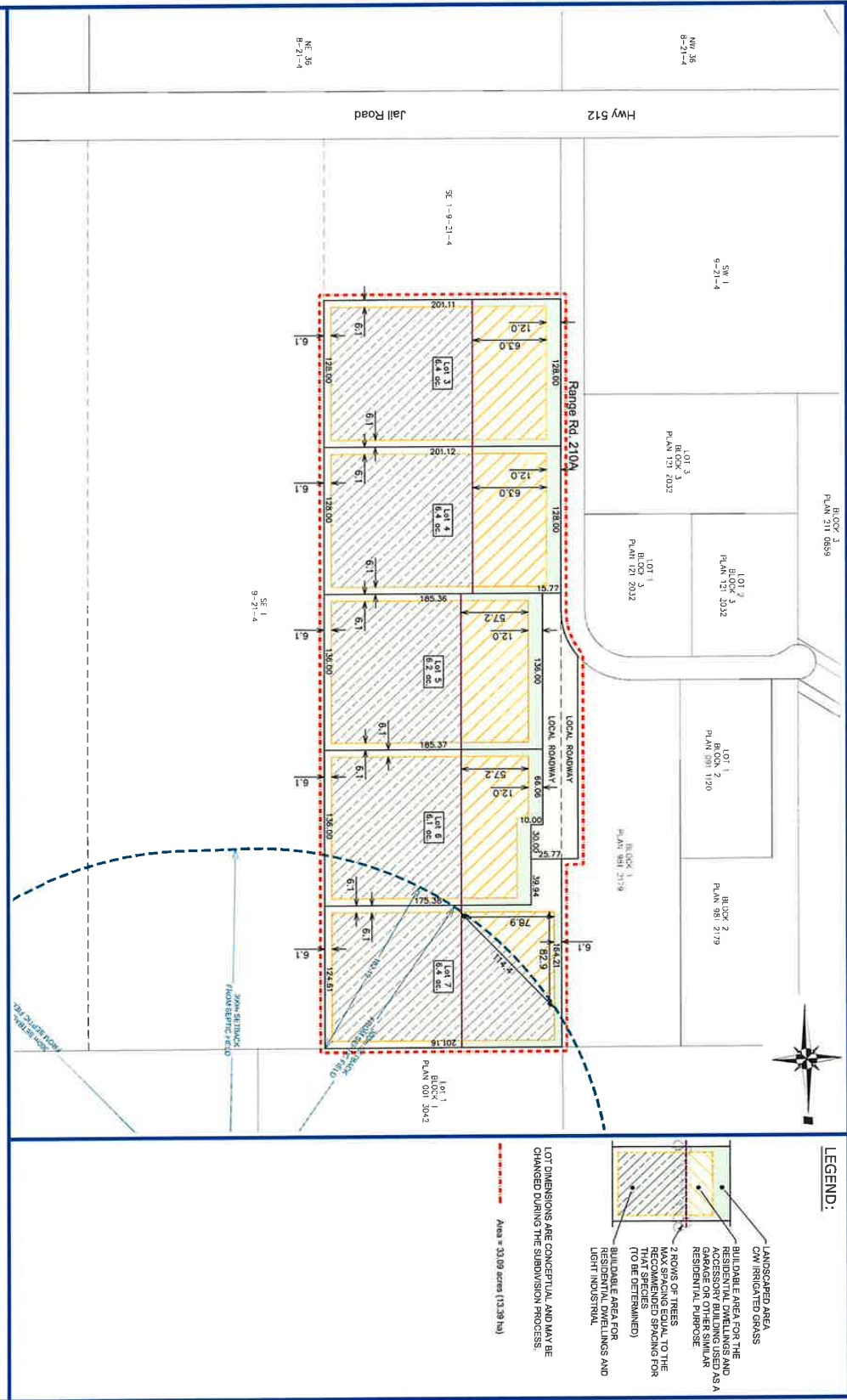
16. ADMINISTRATIVE PROCEDURES

(1) Delegation of Authority

- Council shall be the Development Authority to decide on Development Permit Applications and for application waivers of development standards. Council may also decide on Development Permit Applications for permitted and discretionary uses.
- The Development Officer, in accordance with Section 9 of the Land Use Bylaw No. 1404, and pursuant to Section 641 (3) of the Municipal Government Act, may, with the direction of Council, act as the Development Authority and receive and decide upon Development Permit Application for permitted and discretionary uses, provided they confirm to the standards of the Bylaw.

(2) Approval Procedure

- Where the Development Officer, as the Development Authority has been delegated, the Authority to decide upon Development Permit Applications, for permitted and discretionary uses and has done so, then immediately upon issuance of the Development Permit, the Development Officer shall cause a notice to be published in a newspaper circulating in the area stating the location of the property for which the Application has been made and the Use approved.
- Before consideration of a Permit Application for Developing requiring waivers on the subjected property, Council shall;
 - Cause a notice to be issued by the designated officer to any person likely to be affected.
 - Ensure that the notice contains the date and time that Council will hear the application for waivers of development standards.
 - Hear any persons that claims to be affected by the decision on the Application.
- Council may then approve the Development Permit Application with or without conditions or refuse the Application with reasons.
- Where Council made the decision on a Development Permit Application, the Development Officer acting on behalf of Council, shall cause a notice of the decision to be issued to the applicant and post a copy of the decision in the lobby of the County Office.
- When applicable, Council should seek comments from other agencies such as the Regional Health Authority, Alberta Transportation, or any applicable Provincial Government department.



Country Side Subdivision
DIRECT CONTROL BYLAW

LOT LAYOUT & SETBACKS
FIGURE 1

MARTIN
GEOMATIC CONSULTANTS
Geomatics & Surveying
3500 Humber Avenue, Unit 100
Mississauga, Ontario L4W 3M5
Tel: (905) 276-8888 Email: kumar@martin-geom.com



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0017 553 265	4;21;9;1;;2,7	211 110 525

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
SECTION 1
THOSE PORTIONS OF THE WEST HALVES OF LEGAL SUBDIVISIONS
2 AND 7 IN THE SOUTH EAST QUARTER WHICH LIES TO THE EAST OF
THE WEST 195 FEET THEREOF, CONTAINING 11.3 HECTARES (28.2 ACRES)
MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES (MORE OR LESS)	ACRES
ROAD WIDENING	7711751	0.146	0.36 (LSD 2)

EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
211 110 525	07/06/2021	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

BLAIR FRACHE
OF PO BOX 426
COALDALE
ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

211 110 525

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

IRRIGATION DISTRICT

741 059 286 18/06/1974 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.
"PORTION DESCRIBED IN 4;21;9;1;;2"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
PART OF AN IRRIGABLE UNIT

221 141 380 07/07/2022 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
525-40 ST SOUTH
LETHBRIDGE
ALBERTA T1J4M1

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0017 551 673 4;21;9;1;;2,7 211 110 525 +1

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
 SECTION 1
 THE MOST WESTERLY 195 FEET THROUGHOUT THE WEST HALF OF
 LEGAL SUBDIVISIONS 2 AND 7 IN THE SOUTH EAST QUARTER
 CONTAINING 4.77 HECTARES (11.8 ACRES) MORE OR LESS
 EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES (MORE OR LESS)	ACRES
ROAD WIDENING	7711751	0.061	0.15 (LSD 2)

EXCEPTING THEREOUT ALL MINES AND MINERALS
 AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768 +1

REGISTRATION	DATE (DMY)	REGISTERED OWNER(S)		VALUE	CONSIDERATION
		DOCUMENT	TYPE		
211 110 525	07/06/2021	TRANSFER OF LAND			SEE INSTRUMENT

OWNERS

BLAIR FRACHE
 OF PO BOX 426
 COALDALE
 ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER IRRIGATION DISTRICT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
211 110 525 +1

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

2506ET . RESTRICTIVE COVENANT
"REGISTRATION NUMBER CORRECTED SEPT 5/12 BY
121228486"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
PART OF AN IRRIGABLE UNIT

001 245 087 30/08/2000 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ATCO GAS AND PIPELINES LTD.
909 ELEVENTH AVENUE SW
CALGARY
ALBERTA

221 141 380 07/07/2022 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
525-40 ST SOUTH
LETHBRIDGE
ALBERTA T1J4M1

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



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APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LETHBRIDGE COUNTY
APPLICATION FOR A
LAND USE BYLAW AMENDMENT
 Pursuant to Bylaw No. 1404

Form C

GCR. Portion

OFFICE USE		
Date of Application: <i>July 28, 2023</i>	Assigned Bylaw	No. <i>23-022</i>
Date Deemed Complete: <i>July 28 2023</i>	Application & Processing Fee:	\$
Redesignation <input checked="" type="checkbox"/> Text Amendment <input type="checkbox"/>	Certificate of Title Submitted:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

A refusal is **not** appealable and a subsequent application for amendment involving the same lot and/or the same or similar use may not be made for at least 18 months after the date of refusal. (Refer to sections 53(1))

IMPORTANT NOTE: Although the Development Officer is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as official consent.

APPLICANT INFORMATION

Name of Applicant: Ed Martin

Mailing Address: 255 – 31 Street North **Phone:** (403) 330-5303
Lethbridge, AB **Phone (alternate):** _____
 _____ **Fax:** (403) 329- 6594

Postal Code: T1H 3Z4

Is the applicant the owner of the property? Yes No

IF "NO" please complete box below

Name of Owner: <u>Blair Frache</u>	Phone: <u>(403) 382- 8984</u>
Mailing Address: <u>Box 426</u>	Applicant's interest in the property: <input type="checkbox"/> Agent <input type="checkbox"/> Contractor <input type="checkbox"/> Tenant <input checked="" type="checkbox"/> Other <u>Consultant</u>
<u>Coaldale, AB</u>	
<u>blair@324700ab.com</u>	
Postal Code: <u>T1M 1M4</u>	

PROPERTY INFORMATION

Municipal Address: _____

Legal Description: Lot(s) _____ Block _____ Plan _____
 OR Quarter Ptn. W 1/2 of the SE 1/4 Section 1 Township 9 Range 21

AMENDMENT INFORMATION

What is the proposed amendment?

Text Amendment

Land Use Redesignation

IF TEXT AMENDMENT:

For text amendments, attach a description including:

- The section to be amended;
- The change(s) to the text; and
- Reasons for the change(s).

IF LAND USE REDESIGNATION:

Current Land Use Designation (zoning):

Lethbridge Urban Fringe

Proposed Land Use Designation (zoning) (if applicable):

Grouped Country Residential

SITE DESCRIPTION:

Describe the **lot/parcel dimensions** _____ and **lot area/parcel acreage** 7.0 Acres

Indicate the information on a scaled PLOT or SITE PLAN: (0-4 acres at 1" = 20'; 5-9 acres at 1"= 100'; 10 acres or more at 1"=200')

- Site or Plot Plan Attached**
- Conceptual Design Scheme or Area Structure Plan Attached**

OTHER INFORMATION:

Section 52 of the Land Use Bylaw regulates the information required to accompany an application for redesignation. Please **attach a descriptive narrative** detailing:

- The existing and proposed future land use(s) (i.e. details of the proposed development);
- If and how the proposed redesignation is consistent with applicable statutory plans;
- The compatibility of the proposal with surrounding uses and zoning;
- The development suitability or potential of the site, including identification of any constraints and/or hazard areas (e.g. easements, soil conditions, topography, drainage, etc.);
- Availability of facilities and services (sewage disposal, domestic water, gas, electricity, fire protection, schools, etc.) to serve the subject property while maintaining adequate levels of service to existing development; and
- Access and egress from the parcel and any potential impacts on public roads.

In addition to the descriptive narrative, an Area Structure Plan or Conceptual Design Scheme may be required in conjunction with this application where:

- redesignating land to another district;
- multiple parcels of land are involved;
- four or more lots could be created;
- several pieces of fragmented land are adjacent to the proposal;
- new internal public roads would be required;
- municipal services would need to be extended; or
- required by Council, or the Subdivision or Development Authority if applicable.

The applicant may also be required to provide other professional reports, such as a:


- geotechnical report; and/or
 - soils analysis; and/or
 - evaluation of surface drainage or a detailed storm water management plan;
 - and any other information described in section 52(2) or as deemed necessary to make an informed evaluation of the suitability of the site in relation to the proposed use;
- if deemed necessary.

SITE PLAN

Plans and drawings, in sufficient detail to enable adequate consideration of the application, must be submitted in **duplicate** with this application, together with a plan sufficient to identify the land. It is desirable that the plans and drawings should be on a scale appropriate to the development. However, unless otherwise stipulated, it is not necessary for plans and drawings to be professionally prepared. Council may request additional information.

DECLARATION OF APPLICANT/AGENT

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application. I/We have read and understand the terms noted below and hereby **certify that the registered owner of the land is aware of, and in agreement with this application.**



APPLICANT

**REGISTERED OWNER
(if not the same as applicant)**

DATE: JULY 10 / 23

IMPORTANT: This information may also be shared with appropriate government/ other agencies and may also be kept on file by the agencies. This information may also be used by and for any or all municipal programs and services. Information provided in this application may be considered at a public meeting. The application and related file content will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact Lethbridge County.

TERMS

1. Subject to the provisions of the Land Use Bylaw No. 1404 of Lethbridge County, the term "development" includes any change in the use, or intensity of use, of buildings or land.
2. Pursuant to the municipal development plan, an area structure plan or conceptual design scheme may be required by Council before a decision is made.
3. A refusal is not appealable and a subsequent application for redesignation (reclassification) involving the same or similar lot and/or for the same or similar use may not be made for at least 18 months after the date of a refusal.
4. An approved redesignation (reclassification) shall be finalized by amending the land use bylaw map in accordance with section 692 of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26.

Note: Information provided or generated in this application may be considered at a public meeting.



MARTIN
 GEOMATIC CONSULTANTS
 Consulting Engineers, Planners and Land Surveyors
 2525 29th Street NW, Lethbridge, Alberta T1K 2Z2
 PH: 403.252.5022 FAX: 403.252.5023
 E: info@martin-geomatic.com

LAND USE

Country Side Subdivision
 LAND USE AMENDMENT FROM LUF TO GCR
 July 2023

220729LS



LAND TITLE CERTIFICATE

S		
LINC	SHORT LEGAL	TITLE NUMBER
0017 553 265	4;21;9;1;;2,7	211 110 525

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
SECTION 1
THOSE PORTIONS OF THE WEST HALVES OF LEGAL SUBDIVISIONS
2 AND 7 IN THE SOUTH EAST QUARTER WHICH LIES TO THE EAST OF
THE WEST 195 FEET THEREOF, CONTAINING 11.3 HECTARES (28.2 ACRES)
MORE OR LESS
EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES (MORE OR LESS)	ACRES	
ROAD WIDENING	7711751	0.146	0.36	(LSD 2)

EXCEPTING THEREOUT ALL MINES AND MINERALS
AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
211 110 525	07/06/2021	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

BLAIR FRACHE
OF PO BOX 426
COALDALE
ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION	DATE (D/M/Y)	PARTICULARS
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
211 110 525

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

IRRIGATION DISTRICT

741 059 286 18/06/1974 UTILITY RIGHT OF WAY
GRANTEE - CANADIAN WESTERN NATURAL GAS COMPANY
LIMITED.
"PORTION DESCRIBED IN 4;21;9;1;;2"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
PART OF AN IRRIGABLE UNIT

221 141 380 07/07/2022 CAVEAT
RE : UTILITY RIGHT OF WAY
CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
525-40 ST SOUTH
LETHBRIDGE
ALBERTA T1J4M1

TOTAL INSTRUMENTS: 004

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0017 551 673 4;21;9;1;;2,7 211 110 525 +1

LEGAL DESCRIPTION

MERIDIAN 4 RANGE 21 TOWNSHIP 9
 SECTION 1
 THE MOST WESTERLY 195 FEET THROUGHOUT THE WEST HALF OF
 LEGAL SUBDIVISIONS 2 AND 7 IN THE SOUTH EAST QUARTER
 CONTAINING 4.77 HECTARES (11.8 ACRES) MORE OR LESS
 EXCEPTING THEREOUT:

PLAN	NUMBER	HECTARES (MORE OR LESS)	ACRES
ROAD WIDENING	7711751	0.061	0.15 (LSD 2)

EXCEPTING THEREOUT ALL MINES AND MINERALS
 AND THE RIGHT TO WORK THE SAME

ESTATE: FEE SIMPLE

MUNICIPALITY: LETHBRIDGE COUNTY

REFERENCE NUMBER: 111 284 768 +1

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
211 110 525	07/06/2021	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS

BLAIR FRACHE
 OF PO BOX 426
 COALDALE
 ALBERTA T1M 1M4

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER IRRIGATION DISTRICT

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
211 110 525 +1

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

2506ET . RESTRICTIVE COVENANT
 "REGISTRATION NUMBER CORRECTED SEPT 5/12 BY
 121228486"

891 257 641 06/12/1989 IRRIGATION DISTRICT RESOLUTION
 PART OF AN IRRIGABLE UNIT

001 245 087 30/08/2000 CAVEAT
 RE : UTILITY RIGHT OF WAY
 CAVEATOR - ATCO GAS AND PIPELINES LTD.
 909 ELEVENTH AVENUE SW
 CALGARY
 ALBERTA

221 141 380 07/07/2022 CAVEAT
 RE : UTILITY RIGHT OF WAY
 CAVEATOR - ST MARY RIVER IRRIGATION DISTRICT.
 525-40 ST SOUTH
 LETHBRIDGE
 ALBERTA T1J4M1

TOTAL INSTRUMENTS: 005

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF JUNE,
2023 AT 04:22 P.M.

ORDER NUMBER: 47601058

CUSTOMER FILE NUMBER: 229729LS



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

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INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Land Use Redesignation

Ptn W ½ of the SE ¼ Sec 1, Twp 9, Rge 24, W4M

Introduction

The Area Structure Plan covers a site containing about 40 acres. It is proposed to subdivide the subject property into seven lots, varying in size between 3.0 acres and about 6 acres.

The overall concept for this development is to prepare a suitable residential site that would serve as a buffer between grouped country residential land uses and commercial or industrial uses.

The County's Land Use Bylaw, Municipal Development Plan and Grouped Country Residential Siting Strategy all require that an Area Structure Plan be prepared and approved by Lethbridge County, prior to subdivision or land use.

Site Description

The subject property is located on the north side of Highway No. 512 about 3.19 km east of the Lethbridge city limits. The property is in the west half of the SE ¼ of Sec. 1, TWP 9, Rge 24, W4M. (see appendix A Property Title) and contains 40 acres.

The land immediately to the west is zoned GCR and is commonly known as the Pater Subdivision. To the north is the Broxburn Business Park. Immediately to the east is farmland. The properties in the South half of Section 1 are currently fragmented with a combination of residential, industrial and farmlands. Currently the site is used as pasture land.

Land Use

The City/ County Intermunicipal Plan states that development of fragmented areas off Highway 3 may be suitable for re-subdivision as country residential.

The County's Industrial- Commercial Land Use Strategy identifies the Country Side ASP site as a "Prospective – Future Mixed Use Residential and/ or Light Industrial" growth site. Accordingly, this ASP proposes a mixed-use light industrial and residential land use.

This property is located between a proposed industrial land use and an existing residential land use. We are proposing to zone the two lots fronting onto Highway 812 as GCR (Grouped Country Residential). One lot will contain 3.9 acres and the other will be 3.0 acres. The balance of the site will be zoned DC (Direct Control), with 5 lots of about 6 acres each, being created. This land use will enable the developer to provide a high quality, cluster country residential development with unique opportunities for compatible employment. This zoning will have larger lots and will provide for more intense home occupation uses together with the potential for larger accessory building. The two lots zoned GCR, will have setbacks and accessory buildings requirements in accordance with the current GCR land use.

Residential buildings and associated accessory buildings under 3000 square feet will be restricted to approximately the front 70 metres of the large lots. Accessory buildings up to 12,000 square feet are planned towards the rear of the lots. The larger accessory buildings in conjunction with the residential dwelling will allow for increased home occupations while still providing an adequate buffer with the

existing residential properties. To help provide a buffer more intense landscaping will be required around the residences and between the residents and the larger accessory buildings.

Building location grading, landscaping and exterior building appearances would be managed by either Architectural Controls or conditions in the new DC – Direct Control district or a combination of both.

Transportation

Highway 512 is on the southside of the development with two approaches serving the property. Range Road 210A on the westside is currently gravel and will be extended northerly for access to lots 5,6 and 7. New approaches will be provided to lots 3 to 7. Each lot will be limited to one approach.

Potable Water

The goal is to provide potable water to each lot through the Water Co-op. The developer has two water units and is attempting to secure additional units. The lots without Co-op Water will either haul potable water or use treated irrigation water from an onsite pond.

Sanitary Sewer

In accordance with the requirements of Alberta Private Sewage System – Standards of Practice, the soil conditions for all lots in this development will be tested by a qualified septic system installer. The optimum location and soil profile will be evaluated and the sanitary systems will be designed and installed based on provincial requirements by a licensed installer.

Shallow Utilities

All lots will be serviced with electricity and natural gas.

Storm Sewer

Storm water drainage currently flows in an easterly and north easterly direction. This stormwater flow will be directed, by swales on both sides of each lot, into a ditch running north/south along the east boundary of the lots. The runoff will be stored in existing low areas and in dugouts constructed on each lot. The total amount of water stored will be approximately 8500 cu meters. The storage areas will be drained by infiltration, evaporation, and irrigation. Easements will be provided for the ditch and the areas effected by storing storm water.

LETHBRIDGE COUNTY
 #100, 905 - 4 AVENUE SOUTH
 LETHBRIDGE, ALBERTA
 T1J 4E4
 TELEPHONE: (403) 328-5525
 FAX: (403) 328-5602
O F F I C I A L R E C E I P T

324700 ALBERTA LTD.

GST Reg. #: R106989023
 Receipt #: 0347082
 Date: 2023/07/12

Account #	Description	Opening Bal	Payment	Amount Due
1.3.599.10.5.00	DIRECT CONTROL - ACREAGE		2,000.00	
	<i>Rezoning Bylaw</i>			
	** Payment Total:		2,000.00	
9649	Cheque			2,000.00

includes Direct control + GCR

LETHBRIDGE COUNTY
 #100, 905 - 4 AVENUE SOUTH
 LETHBRIDGE, ALBERTA
 T1J 4E4
 TELEPHONE: (403) 328-5525
 FAX: (403) 328-5602
O F F I C I A L R E C E I P T

324700 ALBERTA LTD.

GST Reg. #: R106989023
 Receipt #: 0347081
 Date: 2023/07/12

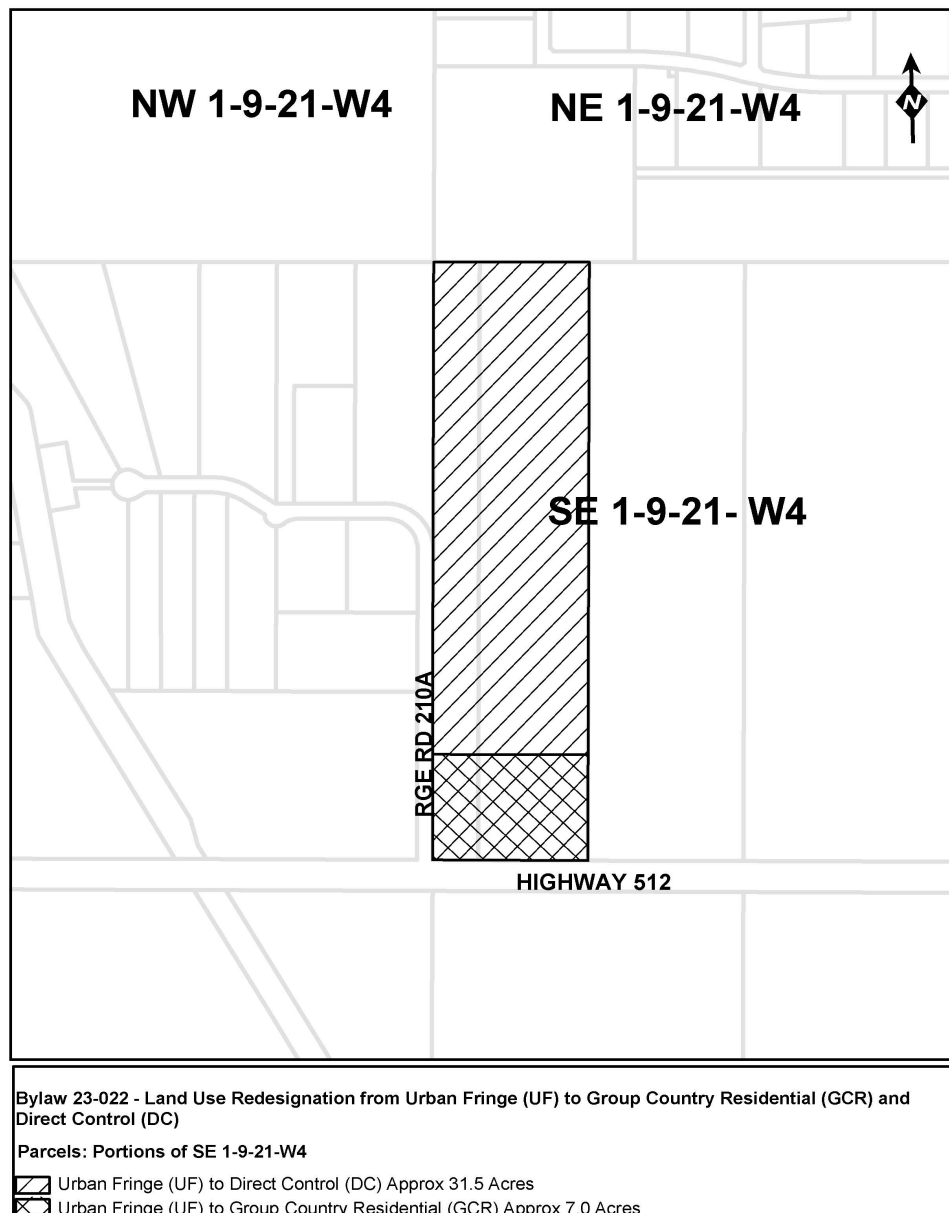
Account #	Description	Opening Bal	Payment	Amount Due
1.3.599.10.5.00	AREA STRUCTURE PLAN		2,500.00	
			** Payment Total:	2,500.00
9648	Cheque			2,500.00

**LETHBRIDGE COUNTY
IN THE PROVINCE OF ALBERTA**

BYLAW NO. 23-022

Bylaw 23-022 of Lethbridge County being a bylaw for the purpose of amending Land Use Bylaw 24-007, in accordance with Sections 230, 606 and 692 of the Municipal Government Act, R.S.A. 2000, Chapter M-26.

WHEREAS the purpose of Bylaw 23-022 is to re-designate that portion of SE 1-9-21-W4, as shown on the sketch below, from Urban Fringe (UF) to Direct Control (D.C.) and Grouped Country Residential (GCR);



AND WHEREAS the purpose of proposed Bylaw 23-022

is to establish the uses and regulations for a Direct Control district pertaining to the aforementioned land and are as described in Schedule "A" attached hereto;

AND WHEREAS policies in the Municipal Development Plan Bylaw No 22-001 refer to the Direct Control Designation being used by Council to regulate land use;

AND WHEREAS once an application has been submitted the municipality must prepare an amending bylaw and provide for its notification and consideration at a public hearing;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following, with the bylaw only coming into effect upon three successful reading thereof;

NOW THEREFORE, under the authority of the Municipal Government Act, R.S.A. 2000, C-26, as amended, the Council of Lethbridge County in the Province of Alberta duly assembled does hereby enact the following:

1. The uses and regulations for the Direct Control District shall be as described in Schedule "A" attached hereto and be applied to the lands described above and identified on the above map.
2. Bylaw No 24-007 – The Land Use Bylaw of Lethbridge County is hereby amended.
3. The Bylaw shall come into effect upon third and final reading hereof.

GIVEN first reading this 20th day of June 2024.

Reeve

Chief Administrative Officer

GIVEN second reading this _____ day of _____, 20__.

Reeve

Chief Administrative Officer

GIVEN third reading this _____ day of _____, 20__.

Reeve

Chief Administrative Officer

1 st Reading	June 20, 2024
2 nd Reading	
Public Hearing	
3 rd Reading	

SCHEDULE A

DIRECT CONTROL

1. PURPOSE

To provide a means whereby Council may regulate and control the use, development or subdivision, on a site-specific basis, the lands described on Figure 1.

To provide a clustered residential development with high quality large lots. The larger residential lots shall allow for larger accessory buildings and provide opportunities for more intense home occupations. No stand-alone businesses or use areas shall be permitted without a residence on the property. Careful site planning and more intense landscaping will be required to help buffer the on-site industrial/ commercial development and the proposed industrial/ commercial development to the east from the existing Grouped Country Residential development.

2. PERMITTED, DISCRETIONARY AND PROHIBITED USES

(1) Permitted Uses

Accessory Buildings, Structure and Uses to an Approved Permitted Use.

Day Homes

Dwellings:

- Single detached Site-built
- Single detached Manufactured Homes 1 (see Part 5 of Land Use Bylaw No. 24-007)
- Single detached Ready-to-move (see Part 5)

Secondary Suites (contained within a single detached dwelling (see Part 5 Land Use Bylaw No. 24-007)

Home Occupations 1, 2, and 3 (see Part 5 Land Use Bylaw No. 24-007)

Signs Type 1 (in accordance with Part 6 of Land Use Bylaw No. 24-007)

Solar Collectors, individual, for dwellings and accessory buildings (See Part 7 of Land Use Bylaw No. 24-007)

Bed and Breakfast (see Part 5 of Land Use Bylaw No. 24-007)

Day Care (see Part 5 of Land Use Bylaw No. 24-007)

Business Support Services

Offices, Public and Private

Professional Services

Technology Centres/ Hubs

Automotive Detail (see Part 5 of Land Use Bylaw No. 24-007)

Contractor Trade Shops

(2) Discretionary Uses

Agricultural Services

Signs Type 2 (in accordance with Part 6) of the Land Use Bylaw No. 24-007

Small Wind Energy Conversion Systems (see Part 7) of the Land Use Bylaw No. 24-007

Agricultural Markets

Alternative or Renewable Energy Facilities (see Part 7) of the Land Use Bylaw No.24-007

Automotive Repair and Service Shops (see Part 5) of the Land Use Bylaw No. 24-007

Building and Trade Contractor Services

Farm Service Product Sales

Industrial Processing and Manufacturing

Machinery and Equipment Sales, Rental and Service
Retail Uses Ancillary to Industrial or Warehousing Use
Veterinary Clinics, Small Animal
Warehousing and Indoor Storage
Wind Energy Conversion Systems (see Part 7) of the Land Use Bylaw No. 24-007
Secondary Suites (detached garage) (see Part 5) of the Land Use Bylaw No. 24-007

(3) Prohibited Uses

Any use which is not listed as either a Permitted or Discretionary Use or is not ruled to be similar to a Permitted or Discretionary Use in accordance with Part 1, Section 34, of the Land Use Bylaw is a prohibited use.

3. **DEFINITIONS**

All words and terms have the same meaning as what is specified in the Lethbridge County Land Use Bylaw.

4. **SITE SUITABILITY**

- The Subdivision Authority or Development Authority shall take into consideration, all applicable sections of Part 4 and 5 of the Land Use Bylaw No. 24-007, when making a decision on an application for subdivision or development in this land use district.
- The Subdivision Authority or Development Authority may place any or all of the following conditions, in addition to a development agreement, on subdivision or development permit approval to ensure any concerns over the suitability of the land and development are satisfied:
 - the provision of a professional geotechnical investigation/test and report to ensure the site is suitable in terms of topography, stability, soil characteristics, flooding subsidence, erosion and sanitary sewerage servicing;
 - require the developer to provide suitable access, so the site will be legally and physically accessible to a developed municipal road or if within 300 metres (984 ft.) of a provincial highway will meet the requirements of Alberta Transportation;
 - stipulate the alteration of proposed lot configurations, building sizes or locations to ensure any setback requirements of this land use bylaw or the Subdivision and Development Regulation can be met;
 - any reasonable measures to ensure any other requirements of this Land Use Bylaw are complied with;
 - any measures to adequately ensure applicable provincial legislation such as the *Safety Codes Act* is complied with or not compromised.
 - The Development Authority will provide direction as to which sections of the Bylaw are relevant and applicable to each particular lot.

5. **LOT SIZE**

- Lot sizes shall be as shown conceptually on FIGURE 1 and shall not be less than 6.0 acres.
- The residential portion of each lot shall be the front 75 meters of each lot or as shown in Figure 1

- The balance of each lot shall be used and referred to as the light industrial portion of each lot.

6. ACCESS

- All access shall be located as shown on FIGURE 1.
- The municipality may, at the time of subdivision or development, require the developer to enter into an agreement for the construction of any approach (es) necessary to serve the lot or development area in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards.
- To ensure proper emergency access, all developments shall have direct legal and developed physical access to a public roadway in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards. If the development is within 304.8 metres (¼ mile) of a provincial highway, direct legal and physical access to a public roadway shall be to the satisfaction of Alberta Transportation.
- A shared local service road or the construction of shared accesses/approaches may be required to be provided by the developer of multi-lot subdivisions in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards

7. SUBDIVISION

After the initial subdivision of a parcel, no further subdivision of any lot shall be allowed. Council, acting in the capacity of the Subdivision Authority, shall make decisions on any future subdivision applications with respect to this bylaw.

8. SERVICING REQUIREMENTS

- Every development shall be required to install a sewage disposal system and potable water system in accordance with Lethbridge County Engineering Guidelines and Minimum Servicing Standards or other system as approved by the municipality.
- The Development Authority may refuse a development, and the Subdivision Authority may refuse to approve a subdivision, if the parcel on which it is proposed is not large enough or does not have suitable soil characteristics to support a sewage disposal system to the standard required.
- The Development Authority may refuse a development, and the Subdivision Authority may refuse to approve a subdivision, if it cannot be demonstrated to the satisfaction of the approval authority that the parcel has access to a secure potable water source or system.
- Industrial or business uses that require or use a large volume of water may be denied a development permit if a secured source of water, relative to what is required for the development, is not verified, or cannot be guaranteed to the satisfaction of Lethbridge County. This may include, but is not limited to, car/ truck wash facilities, food or other various processing industries, and biofuel plants associated with ethanol production.

9. SITE GRADING AND DRAINAGE

- Development on both the residential and industrial portions of each lot must follow the grading and drainage requirements as set out in the Country Side Area Structure Plan and Figure 1 contained in this Direct Control District.
- No building or structure shall be located on any part of the lot that is identified as being used to store water or used to provide drainage.

- An engineered grading and drainage plan must be submitted for approval, by the Development Authority in conjunction with the building permit application. This plan must also be approved as required in the Architectural Controls.
- All finished lot grading shall be constructed and maintained to the satisfaction of Lethbridge County and shall be in accordance with the County's Engineering Guidelines and Minimum Servicing Standards.
- The applicant is responsible for ensuring adherence to the final grades.
- The applicant must supply evidence by an engineer, that the requirement of the approved grading plan have been met. This evidence must also be submitted for approval in accordance with the Architectural Controls.

10. MINIMUM YARD SETBACK REQUIREMENTS

- Side and rear setbacks yards
 - Side Yards setbacks for all uses shall be a minimum of 6.1 meters (20 ft) of a property line not fronting on or adjacent to a municipal roadway or as shown in FIGURE 1.
- Front Yards
 - Front yards setbacks shall be a minimum of 12 meters (39.4 ft) from the front property line adjacent or as shown in FIGURE 1.
- Special Setback Requirements
 - Setbacks for residential buildings and accessory buildings shall be in accordance with FIGURE 1 or as specified by the Development Authority.

11. BUILDING SIZE & SITING REQUIREMENTS

- Unless Specified elsewhere in this bylaw, the maximum percentage of the site that may be covered by buildings and structures shall be:
 - As determined by the Development Authority – no building, structure or driveway shall be located within the area or setbacks required or identified to treat private septic sewage;
 - Established in an adopted area structure plan design scheme.
 - In accordance with the Land Use Bylaw No. 24-007.
- No building, structure or driveway shall be located within the area required for drainage swales, drainage storage, sanitary sewer, septic fields, or any easements.
- Where a structure is attached to the principal building by a roof, an open or closed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.
- The total combined area of all structures within each lot boundary shall be no greater than 10% of the lot gross area of that lot.
- The maximum total area of a residential dwelling and its accessory buildings in the residential portion of the lot shall be 12,000 sq ft. The maximum size of an accessory building in the residential portion of a lot shall be 3,000 sq ft. The maximum height of buildings in this portion of a lot is 25.0 ft.

- The maximum total area of all the buildings in the light industrial portion of a lot shall be 12,000 sq ft. More than one accessory building is permitted in the light industrial portion of the lot, provided the maximum total area doesn't exceed 12,000 sq. ft. The maximum height for accessory buildings in the light industrial portion of a lot is 35 ft.
- Secondary suites in a detached garage will not be allowed unless firstly, there is an approved principal building.

12. ACCESSORY BUILDING

- An accessory building or structure on both the residential and industrial portion of the lot shall only be constructed in conjunction with an approved principal building or use and not be used as a permanent dwelling.
- An accessory building shall not be located in the required setback from a public road or on an easement.
- An accessory building in the residential portion of the lot, shall be setback a minimum 3.0 metres (10 ft.) from the principal dwelling and from all other structures on the same lot.
- Where a structure is attached to the principal building on a site by a roof, an open or enclosed structure, a floor or foundation, it is to be considered a part of the principal building and is not an accessory building.
- As a condition of a permit, if a development approval is required, the Development Authority may stipulate specific requirements for the type of foundation, fastening or tie-down system, finish, colour, roof pitch, and materials to be applied to the accessory building.
- The requirements of Land Use Bylaw No. 1404 shall be followed unless specified elsewhere in this Bylaw

13. GENERAL STANDARDS OF DEVELOPMENT

- At the discretion of Council or the Development Officer acting as the Development Authority having regards for the Land Use Bylaw.
- Standards detailed in Parts 4 and 5 of Bylaw No. 24-007 apply to all uses unless more detailed and restrictive standards are established under an adopted area structure plan or design scheme or Architectural Controls.

14. LANDSCAPING

- Landscaping is required, for the purpose of providing screening between the residential area of each lot and the remainder of the lot. This landscaping is also intended to provide a buffer for the adjacent grouped country residential development and any future light industrial use east of this development. Landscaping plans must be approved by the Architectural Control Consultant prior to any construction.
- The area between the road and the rear side of a residence and residential accessory building shall be irrigated and landscaped with lawn, trees and shrubs.
- All trees, shrubs, and lawn must be irrigated. Notwithstanding this, all landscaping must be completed within two years of the date a development permit is issued.
- All plant materials shall be planted in accordance with good horticultural practices.

- When trees are planted in a group, they shall be planted at the minimum spacing recommended between each particular species of trees.
- The minimum calliper for deciduous trees shall be 50mm. Coniferous trees shall be a minimum 2.0 meters in height.

15. ARCHITECTURAL CONTROLS

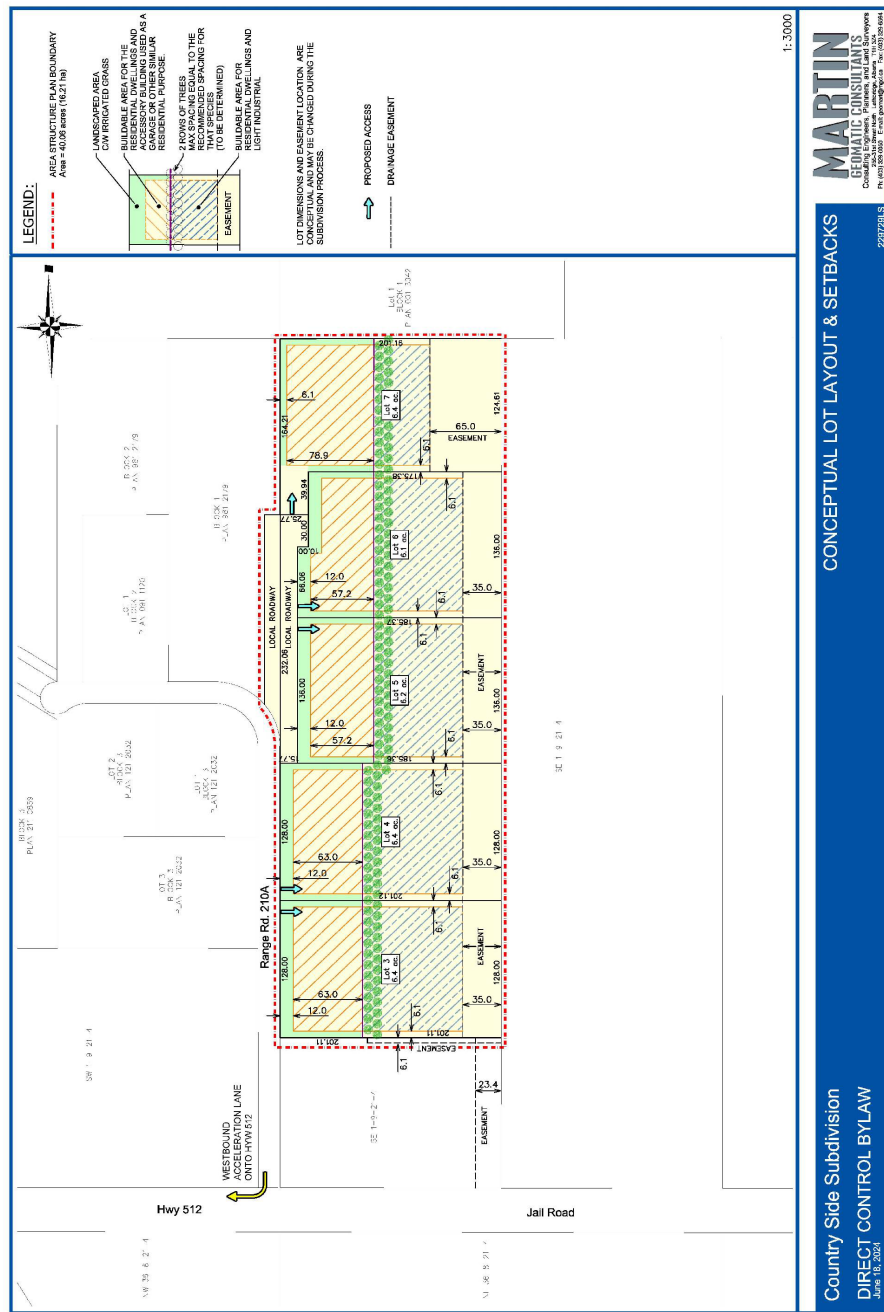
All development must comply with any approved architectural controls. Proof of compliance to the applicable architectural controls is required at the time of submission of a development permit application and upon final grading approval. Copies of these approvals must be submitted to the Development Authority.

16. ADMINISTRATIVE PROCEDURES

- Delegation of Authority
 - Council shall be the Development Authority to decide on Development Permit Applications and for application waivers of development standards. Council may also decide on Development Permit Applications for permitted and discretionary uses.
 - The Development Officer, in accordance with Section 9 of the Land Use Bylaw No. 1404, and pursuant to Section 641 (3) of the Municipal Government Act, may, with the direction of Council, act as the Development Authority and receive and decide upon Development Permit Application for permitted and discretionary uses, provided they confirm to the standards of the Bylaw.
- Approval Procedure
 - Where the Development Officer, as the Development Authority has been delegated, the Authority to decide upon Development Permit Applications, for permitted and discretionary uses and has done so, then immediately upon issuance of the Development Permit, the Development Officer shall cause a notice to be published in a newspaper circulating in the area stating the location of the property for which the Application has been made and the Use approved.
 - Before consideration of a Permit Application for Developing requiring waivers on the subjected property, Council shall;
 - Cause a notice to be issued by the designated officer to any person likely to be affected.
 - Ensure that the notice contains the date and time that Council will hear the application for waivers of development standards.
 - Hear any persons that claims to be affected by the decision on the Application.
 - Council may then approve the Development Permit Application with or without conditions or refuse the Application with reasons.
 - Where Council made the decision on a Development Permit Application, the Development Officer acting on behalf of Council, shall cause a notice of the decision to be issued to the applicant and post a copy of the decision in the lobby of the County Office.
 - When applicable, Council should seek comments from other agencies such as the Regional Health Authority, Alberta Transportation, or any applicable Provincial Government department.

- Appeal Procedure
 - Pursuant to Section 685(4)(a) of the Municipal Government Act, if a decision with respect to a Development Permit Application is made by Council, there is no appeal to the Subdivision and Development Appeal Board.
 - Pursuant to Section 685(4)(a) of the Municipal Government Act, if the Development Officer has been delegated, the Authority to decide upon Development Permit Applications as the Development Authority, then the appeal to the Subdivision Appeal Board is limited to whether the Development Officer followed the directions of Council.

Figure 1



AGENDA ITEM REPORT



Title: Integra Air Inc. and Bar XH Air Inc. Account Closures
Meeting: Council Meeting - 20 Jun 2024
Department: Corporate Services
Report Author: Jennifer Place

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 22 May 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

In 2018 Lethbridge County transferred ownership of the airport to the City of Lethbridge. While the County was able to collect the majority of the outstanding fees related to the Airport, there were a few companies that had not paid in full at the time of the transfer.

In an effort to collect the outstanding balances the County worked with North and Company LLP and had them complete a corporate search and prepare a writ against two companies, Integra Air Inc and Bar XH Inc. That writ expires this year and based on the updated searches completed by North and Company, it is their recommendation to not renew the writ as it is their opinion that any collection at this time is unrealistic. Therefore administration is recommending that outstanding accounts totaling \$186,237.15 be written off.

RECOMMENDATION:

That Council direct administration to cancel all outstanding account balances for Integra Air Inc. in the amount of \$173,167.73 and for Bar XH Air Inc. in the amount of \$13,069.42.

REASON(S) FOR RECOMMENDATION(S):

The recommendation is based on North and Company LLP's advice following an updated Corporate and Personal Property Registry search that further efforts to collect the outstanding balances will be futile.

PREVIOUS COUNCIL DIRECTION / POLICY:

Legal corporate searches and a writ was issued against Integra Air Inc and Bar XH Air Inc.

BACKGROUND INFORMATION:

As the County's writ against Integra Air Inc. and Bar XH Air Inc. was nearing its expiration, the County spoke with North and Company regarding renewal. As part of the renewal process and at the

County's request, North and Company completed a corporate and personal property registry search of Integra Air Inc. and Bar XH Air Inc.

Following the search, the following information was provided from North and Company, the County had a default Judgment in 2018 against the Integra Air group of companies. In 2021, those companies went into Receivership. The Receiver held an auction and sold some assets receiving \$429,000. The entire amount of the auction sale proceeds were paid to the bank lender, who was the first in line secured creditor. As per North and Company, the Receiver indicated that they do not believe there are any other assets. Both companies involved have been struck and the Personal Property Registry searches show unsecured creditors of over \$6 million, and no assets, therefore collection of any kind is highly unlikely.

The outstanding balances are as follows:

Integra Air Inc.	
Utilities (9000012.00)	\$485.31
Tax Rolls (3019170 & 3024090)	\$5,935.23
Accounts Receivable (INTE001)	\$166,747.19
Bar XH Air Inc.	
Accounts Receivable (BARX001)	\$13,069.42
TOTAL	\$186,237.15

ALTERNATIVES / PROS / CONS:

To not write off the outstanding balances

PRO - There will be no impact to the receivable account balances.

CON - The accounts will remain on the County's books, indicated an additional \$186,237.15 in anticipated receivable collections.

FINANCIAL IMPACT:

As the anticipated revenues have already been recorded, the cancellation of these accounts will impact the total receivables by \$186,237.15.

LEVEL OF PUBLIC PARTICIPATION:

- Inform** **Consult** **Involve** **Collaborate** **Empower**

AGENDA ITEM REPORT



Title: 2024 Bursary Selection Committee
Meeting: Council Meeting - 20 Jun 2024
Department: Corporate Services
Report Author: Jennifer Place

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 29 May 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

As per the Bursary Policy #182, the closing date for receipt of applications was June 1st to be awarded by August 31st annually. The policy states that Lethbridge County Council will have full authority in the selection of the recipients. Therefore a selection committee of Council is required to review applications and select the bursary winners.

Bursary Policy #182, states that the bursary amount and number of bursaries available will be determined annually by Council through the annual budget process. The 2024 budget has allotted for three recipients at \$1,500 each.

RECOMMENDATION:

THAT a Bursary Selection Committee of three council members be established to review the 2024 bursary applications and that the committee members are *(TBD by council)*.

REASON(S) FOR RECOMMENDATION(S):

Council will need to appoint members will sit on the 2024 selection committee, as per Policy #182.

PREVIOUS COUNCIL DIRECTION / POLICY:

Bursary Policy #182 (as attached)

BACKGROUND INFORMATION:

This will be the fifth consecutive year that the Lethbridge County bursary will be issued per Policy #182 guidelines. The policy does state that a selection committee of Council will have full authority in the selection of the recipients. Although a specific number of members is not identified for the selection committee, historically it has been made up of three members of Council who review, score and determine the recipient winners. The committee then brings their recommendations back to County Council in July for final approval and award at the August meeting.

ALTERNATIVES / PROS / CONS:

Selection Committee

To not have a selection committee.

PRO- Council would not have to develop a Selection Committee.

CON - The policy specifically references a selection committee of Council, therefore not having a committee would contradict the policy.

To direct Administration to select the bursary applicant winners.

PRO - Council would not have to develop a Selection Committee.

CON - The policy specifically references a selection committee of Council, therefore not having a committee would contradict the policy.

FINANCIAL IMPACT:

Lethbridge County Council has approved a total of \$1,500 within the 2024 budget for three \$1,000 bursary winners. The bursary provides Lethbridge County students with some financial support towards their post-secondary educations.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[182 Bursary Policy](#)



Lethbridge County Policy Handbook

EFFECTIVE: February 20, 2020 **SECTION:** 100 NO. 182 Page 1 of 2
APPROVED BY: County Council **SUBJECT:** Bursary Policy
REVISED DATE:

PURPOSE:

To provide Lethbridge County Students an opportunity to receive a bursary for post-secondary education.

OBJECTIVE:

To provide some financial assistance to Lethbridge County citizens who are pursuing a post-secondary education.

PARAMETERS:

1. **Bursary Amount:** The amount of and number of bursaries available will be determined annually by Council through the annual budget process.
2. **Selection Committee:** Lethbridge County Council will have full authority in the selection of the recipients.

CRITERIA:

1. **Primary Considerations:**
Open to any student or adult as qualified by the undernoted conditions:
 - a) Shall be a resident of Lethbridge County who is attending school within Lethbridge County's Municipal boundaries.

OR

 - b) Shall have at one time attended school within Lethbridge County's Municipal boundaries.
2. **Secondary Considerations:**
Based on an academic standing sufficient to achieve stated goals. Based on good citizenship demonstrated through community and social participation, volunteer work, etc.



Lethbridge County Policy Handbook

EFFECTIVE: February 20, 2020 **SECTION:** 100 NO. 182 Page 2 of 2

APPROVED BY: County Council **SUBJECT:** Bursary Policy

REVISED DATE

3. Other Considerations:

- Financial need will be considered.
- Applicant need not be a High School student but must provide proof of enrolment in a post-secondary education institute.
- Is a resident of Lethbridge County and must provide proof of such.
- Only students going into first year of studies are eligible to apply.
- Has not received the Lethbridge County bursary in the past.

APPLICATION PROCEDURES AND DATES

- The Lethbridge County Bursary Application, as per Schedule "A" will be made available at the Lethbridge County Administrative Office or on the Lethbridge County Website.
- Applications can be received by hand delivering to the Lethbridge County Administrative Office or by email, in .pdf format to admin@lethcounty.ca
- Applications postmarked after June 1st will not be accepted.
- Transcripts of marks must accompany application.
- Awards to be disbursed by Lethbridge County to the recipient by August 31, annually.
- The availability of the bursary shall be advertised annually in March of each year.



LETHBRIDGE COUNTY BURSARY APPLICATION Schedule "A"

Lethbridge County Council is proud to administer Bursary opportunities to County students as per the Lethbridge County Bursary Policy #182. A representative of County Council will award two County students a \$1,000 bursary each at the first County Council Meeting held in August of each year.

The student must plan to attend a post-secondary or trade school within 18 months of winning the bursary and provide proof of enrollment prior to the disbursement of funds. Lethbridge County Council will review the applications and choose the student best suited for this award. (A 2nd and 3rd place recipient will be chosen in case the 1st place recipient does not proceed with post-secondary plans). The decision of Council is final.

To be considered, please submit an application via email to admin@lethcounty.ca in a .pdf format preferably. **Application deadline is June 1st, without exception.**

PERSONAL INFORMATION

Name: _____

Mailing Address: _____

Town: _____ Postal Code: _____

Telephone Number: _____ Alternate Number: _____

Email Address: _____

Post-Secondary School to be Attended: _____

Certification / Credentials Sought (Diploma, Degree, etc.): _____

Plans after Completing Post-Secondary Education: _____

Reason Applying for Bursary: _____

SEE PAGE 2 FOR ITEMS TO BE ATTACHED WITH APPLICATION.

DECLARATION OF APPLICANT

- All information is true and complete.
- I agree to allow my name and study plans to be released publicly if I receive this bursary.
- I authorize the release and exchange of my personal information by and between Lethbridge County and any federal and provincial government departments, boards or institutions to verify the information I have provided.

Signature of Applicant

Date



LETHBRIDGE COUNTY BURSARY APPLICATION Schedule "A"

The following information must accompany your application:

EDUCATIONAL BACKGROUND

Your most recent complete transcript of marks, including all high school courses completed to date, or a copy of your high school report cards to date, must accompany this application.

WRITE A SUMMARY DESCRIBING THE FOLLOWING:

- Yourself
- Interests
- Goals and objectives
- Past accomplishments
- School related activities (i.e. Student Council, Sports, Drama etc.)
- Community related activities (i.e. Clubs, Church, Cultural etc.)
- Other information you wish to provide (i.e. volunteering, academic accomplishments, awards or recognition received, favourite school memory etc.)

Deadline date for submission of applications – June 1st.

APPLICATIONS WILL NOT BE ACCEPTED IF POSTMARKED OR SENT BY E-MAIL AFTER JUNE 1st.

Deadline date for submission of most recent marks (high school or post-secondary) – JUNE 1st.

LATE SUBMISSION OF TRANSCRIPTS WILL RESULT IN DISQUALIFICATION.

Completed applications can be hand delivered or mailed to:

**Lethbridge County Bursary
#100, 905 4th Avenue South
Lethbridge, Alberta T1J 4E4**

OR may be e-mailed to: admin@lethcounty.ca (.pdf format preferred)

All applicants will be notified of the status of their application after marks become available to the committee.

*Please **do not** include proof of enrolment with your application. You will be asked for proof of enrolment if you are chosen to receive an award.*

AGENDA ITEM REPORT



Title: 2024 Stirling Wind Benefit Project Funding Allocations
Meeting: Council Meeting - 20 Jun 2024
Department: Corporate Services
Report Author: Jennifer Place

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 07 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

In 2023, County was contacted by Potential Renewables Inc. regarding community funding through the Stirling Wind Project. The program has been developed as part of their community relations commitment and provides contributions back to the communities in which their wind turbines are constructed. An agreement regarding Stirling Wind Project was approved by Council at the September 21, 2023 Council meeting. Lethbridge County, that has 14 turbines and has received \$15,217 for the total 2024 contribution with with 40% (\$6,086) to be funded as part of the open allocation, as outlined within the agreement. The balance, \$9,131 is meant for the fixed allocation portion of the agreement such as scholarships.

RECOMMENDATION:

That County Council approve the Stirling Wind Project Community Benefit Fund Open Allocation portion in the amount of \$6,086.80 to the following recipients as follows:

- Bee Hive Child Care - \$1,200
- Diamond City Citizens Association - \$1,286.80
- Home and School Board St. Catherine's - \$1,200
- McNally Community Association - \$1,200
- Holy Spirit Catholic School - \$1,200

REASON(S) FOR RECOMMENDATION(S):

The recommendation has been made based on the the open allocation funding breakdown provided by Potenita Renewables Inc.

PREVIOUS COUNCIL DIRECTION / POLICY:

Council passed the following resolution at the September 21, 2023 Council meeting:

273-2023

Councillor VanderVeen

MOVED that County Council direct administration to sign the Community Benefits Agreement with Stirling Renewable Energy and that Administration bring back a plan for the community funding projects, effective for 2024.
CARRIED

BACKGROUND INFORMATION:

As per the agreement, under Article 5, the open allocation portion of the Community Benefit Fund will be distributed each year based on 40% of the annual contribution being (\$6,086.00/annum).

The Open Allocation application process has since closed and all applications were submitted for review and to determine eligibility by Potentia Renewables Inc. as the provider of the Stirling Wind Grant Funds. Their allocation recommendations are included below.

APPLICANT	PROJECT	FUNDING REQUEST	RECOMMENDED FUNDING
Bee Hive Child Care	Climbing Wall / Dome	\$2,700	\$1,200
Diamond City Citizens Association	New Community Hall	\$10,000	\$1,286.80
Home & School Board St. Catherine's	Playground	\$10,000	\$1,200
McNally Community Association	Bathroom Repairs	\$3,800	\$1,200
Holy Spirit Catholic School	Sound System	\$10,000	\$1,200
TOTAL		\$36,500	\$6,086.80
AVAILABLE BALANCE		(\$6,086.80)	(\$6,086.80)
UNFUNDED PORTION		\$30,413.20	\$0

Council does have the authority to adjust the allocations as they see fit, with notification of any changes provided to Potentia Renewables. Additionally, council can also add funds from its own resources should they decided to do so. These funds are separate from the fixed funding portion for scholarship purposes.

ALTERNATIVES / PROS / CONS:

As the County has an agreement for the funding, the funds must be allocated, however Council does have the following options:

- Council could amend the applications as they see fit.
- Council can add funding from its own resources.

FINANCIAL IMPACT:

There is no additional cost to the County based on the proposed funding allocation, the 2024 grant funds have been received.

LEVEL OF PUBLIC PARTICIPATION:

- Inform Consult Involve Collaborate Empower

ATTACHMENTS:

[Stirling Wind Project Agreement](#)

COMMUNITY BENEFITS AGREEMENT

THIS AGREEMENT dated as of the 1st day of November (the "Execution Date"), 2023.

BETWEEN:

STIRLING RENEWABLE ENERGY LP, a limited partnership registered in the Province of Alberta, by and through its General Partner, **STIRLING WIND PROJECT LTD.**, a corporation incorporated pursuant to the laws of the Province of Alberta, (the "**Proponent**");

and

LETHBRIDGE COUNTY,
a county in the Province of Alberta, (the "**Recipient**")

WHEREAS

- A. The Proponent is developing an approximately 113-megawatt (MW) wind energy facility known as the Stirling Wind Project (the "**Project**") located, in part, within the Recipient's geographical boundaries.
- B. In recognition of the Proponent's community relations efforts the Proponent desires to provide certain contributions more particular described herein for the benefit of the Recipient and its residents in accordance with the terms of this Agreement.
- C. The Parties wish to set out the terms and conditions under which the Annual Contributions will be paid to the Recipient and the terms and conditions upon which the Community Benefit Fund will be established and administered.

NOW THEREFORE in consideration of the mutual covenants and agreements contained herein, and for other good and valuable consideration, the receipt and sufficiency which is hereby acknowledged, the Parties agree with each other as follows:

Article 1 - Definitions

- 1.1 In this Agreement, in addition to terms defined elsewhere in this Agreement, the following terms have the following meanings:
 - (a) "**Acting improperly**" means to act in breach of a duty of good faith, impartiality or trust;
 - (b) "**Agreement**" means this Agreement, including all Schedules, as it may be confirmed, amended, modified, supplemented or restated by written agreement between the Parties;

- (c) "**Annual Contributions**" shall mean Fifteen Thousand Two Hundred and Seventeen (\$15,217.00) Canadian dollars;
- (d) "**Anti-Corruption Laws**" means all applicable anti-corruption laws, including but not limited to, the *Corruption of Foreign Public Officials Act* (Canada), the *Criminal Code* (Canada), and any other similar legislation in any jurisdiction;
- (e) "**Arm's length**" has the meaning ascribed thereto in the *Income Tax Act* (Canada);
- (f) "**COD**" means the date on which commercial operation of the Project is attained within the meaning of a PPA. The expected COD is December 31, 2023. The Proponent will notify the Recipient of COD upon meeting this milestone;
- (g) "**Community Benefit Fund**" has the meaning ascribed thereto in Section 4.1;
- (h) "**Council**" means the council of the Recipient;
- (i) "**Effective Date**" means the date first above written;
- (j) "**Expenditure Application**" has the meaning ascribed thereto in Section 4.4;
- (k) "**Fixed Allocation**" has the meaning ascribed thereto in Section 5.1(a).
- (l) "**Government Official**" means:
 - (i) any officer or employee of a government or public international organization or any department or agency thereof or any government- owned or controlled entity (including government owned enterprises);
 - (ii) any person acting in an official function or capacity for a government or public international organization;
 - (iii) any person who holds a legislative or judicial position of any kind;
 - (iv) any political party or party official, or political office candidate;
 - (v) any individual who holds or performs the duties of an appointment, office or position created by custom or convention, including, tribal leaders and members of royal families;
 - (vi) public bodies performing a function of government and representatives thereof (including bands under the Indian Act (Canada) and the chief and council thereof);
 - (vii) any person who holds themselves out to be the authorized intermediary of a Government Official; and
 - (viii) includes any person not dealing at arm's length with any of the foregoing.

- (m) **"Open Allocation"** has the meaning ascribed thereto in Section 5.1(b);
- (n) **"Parties"** means the Proponent and the Recipient and "Party" shall mean either or both of the Parties as the context requires;
- (o) **"PPA"** means a Power Purchase Agreement and/or an Offtake Agreement entered into between Proponent and third party purchaser.
- (p) **"Project"** has the meaning set forth in the Recitals hereof;
- (q) **"Proponent Marks"** has the meaning ascribed thereto in Section 8.7;
- (r) **"AESO"** means the Independent System Operator, a not-for-profit corporation established under the Electric Utilities Act, SA, c E-5.1, operating as the Alberta Electric System Operator;
- (s) **"Term"** has the meaning ascribed thereto in Section 2.1; and
- (t) **"Turbine"** means an individual wind turbine installed as part of the Project for the purposes of producing electric energy.

Article 2 - Term

- 2.1 Subject to Section 2.2, this Agreement shall become effective on Effective Date and shall continue thereafter for a period expiring on the earlier of (i) the date which is 25 years following COD; and (ii) the day all the turbines in the Project are decommissioned (the **"Term"**).
- 2.2 Notwithstanding anything to the contrary in this Article 2, if the COD does not occur within three (3) years of the Effective Date, this Agreement shall terminate and be deemed to be null and void and of no further force or effect.

Article 3 –Annual Contributions by the Proponent and Community Support

- 3.1 Annual Contributions:
 - (a) Subject to the terms and conditions contained herein, commencing within 90 calendar days of COD, and continuing annually within 90 calendar days of the anniversary of the COD throughout the Term, the Proponent agrees to pay the Recipient the Annual Contribution.
 - (b) The Annual Contribution for any year in the Term less than 365 days shall be prorated using the percentage that the numbers of days in such year of the Term, as applicable, is to 365.
 - (c) Notwithstanding anything to the contrary in this Agreement, the Annual Contribution shall not be payable by the Proponent for any year during the Term in which there exists an event or circumstance (other than ordinary course and scheduled maintenance) that

the Proponent determines has resulted in the loss or material inability of the Project to produce power for at least half of such year which affects 25% or more of the Turbines.

3.2 Community Support:

- (a) In the event that the Recipient (i) proposes or passes a bylaw or authorizes any other municipal action that (1) discriminates against the Proponent, or (2) violates applicable laws, or (ii) defaults under any applicable road use agreement, or (iii) engages in conduct in bad faith in a manner that materially interferes with, unduly delays or frustrates the Proponent's ability to construct, reconstruct, replace, use, monitor, maintain, operate, relocate and/or remove the Project, then the obligation of the Proponent to pay the any Annual Contribution shall be at an end and of no further force and effect.
- (b) The Recipient and the Proponent shall work cooperatively throughout the Term, including meeting at least once each year, to develop and review plans for ensuring that the Proponent is appropriately recognized by the Recipient and its residents for the financial contribution made by the Proponent to the Community Benefit Fund for the betterment of the community.
- (c) Without limiting the generality of the foregoing, the Recipient and the Proponent shall consult and agree on specific protocols for public recognition and branding of initiatives financed in large part from the Community Benefit Fund. For the purpose of publicly recognizing and branding initiatives financed using the Community Benefit Contributions received from the Proponent, the Recipient shall ensure that such level of public recognition and branding is commensurate with the amount that such financing is to the total cost of the particular initiative. In no event shall funds spent on any public recognition and branding exceed \$500.00 per year, unless both the Proponent and Recipient agree in writing.

Article 4 - Creation and Administration of Community Benefit Fund

- 4.1 The Recipient agrees to establish a segregated community benefit fund (the "**Community Benefit Fund**") financed solely by the Annual Contributions made by the Proponent. Subject to the limitations set forth in Section 4.2, the Community Benefit Fund shall be utilized in any lawful manner by the Recipient in its discretion provided that such uses shall be exclusively for the benefit of the Recipient and its residents.
- 4.2 The Parties acknowledge and agree that the Proponent has certain legal, regulatory and business standards and company policy interests with respect to anti-bribery matters and Anti-Corruption Laws. Therefore, the Recipient agrees that the Community Benefit Fund and the Annual Contributions received by the Recipient pursuant to this Agreement shall not be used for any unlawful, improper or unethical purpose, including the provision of benefits to the Recipient's employees, representatives or consultants or other such persons who have or could reasonably be perceived as having any improper conflict of interest with the Recipient or its elected or appointed representatives that could, in each case, give rise to perceptions of corruption or conflict of interest. For certainty, and without limiting the generality of the foregoing, the Recipient acknowledges and agrees that the Community Benefit Fund shall not

be used in respect of:

- (a) the provision of any payments, compensation or benefits of any kind to elected officials, officers, employees, contractors, volunteers and agents of the Recipient, or to any person not dealing at arm's length with any of the foregoing including, without limitation, family members of such persons; and
 - (b) the provision of any payments or expenditures by the Recipient in respect of general operating expenses of the Recipient (*provided*; that the Community Benefit Fund may be used in respect of direct expenses incurred by the Recipient for administration of this Agreement including, without limitation, advertising, photocopying, postage and stationery);
- 4.3 By way of example, and without in any way impeding the generality of the limitations set forth immediately above, the Community Benefit Fund is intended to fund community projects, events, or other one-time capital improvements from which the Recipient and its residents will realize a benefit.
- 4.4 Subject to Section 4, all proposed expenditures or application of funds from the Community Benefit Fund shall require approval by the Council in a public forum and shall necessarily include a written report detailing such approved expenditures or application of funds. The Recipient shall, by no later than May 30 of each year of the Term following the first year that an Annual Contribution is received by the Recipient provide a written report to the Proponent of monies received and expenditures made out of the Community Benefit Fund, including a detailed description of the initiatives on which the funds were spent, during the preceding year. The Recipient shall not be obligated to approve or distribute one hundred percent (100%) of the funds related to any Annual Contribution in any year of the Term and such funds may accrue up to an aggregate maximum amount of Fifty Thousand (\$50,000.00) Canadian Dollars and be distributed in subsequent years of the Term in accordance with this Agreement.
- 4.5 If the Recipient proposes to use the Community Benefit Fund for an expenditure which, notwithstanding the primary intention of the expenditure being for the benefit the Recipient and its residents, may reasonably be considered as a real or apparent impropriety or corruption, conflict of interest, illicit use of influence, offering or soliciting improper payment to any Government Official or to any person to influence that or another person to act in breach of a duty of good faith, impartiality or trust, to reward the person for acting improperly, or where the recipient may be considered to be acting improperly by receiving the thing of value, then the Recipient agrees that it shall, prior to submitting the proposed expenditure to Council in accordance with Section 4.3, first submit an application to the Proponent for the Proponent's prior written approval of such expenditure (the "**Expenditure Application**"). In reviewing the Expenditure Application, the Proponent may request (subject to applicable laws) any additional information from the Recipient that it deems necessary to inform the Proponent of such application and render its decision in respect of the Expenditure Application. The Proponent covenants and agrees to review any Expenditure Application and render its decision in a commercially reasonable time period.
- 4.6 Upon reasonable notice to the Recipient, the Proponent shall have the right to inspect all

records created and maintained which relate to the transactions undertaken by the Recipient with regard to the Community Benefit Fund.

- 4.7 The Parties acknowledge that the Annual Contributions and the Community Benefit Fund established pursuant to this Agreement:
- (a) have not been, or will not be, paid by the Proponent to secure any improper advantage applicable to the activities under this Agreement or the Project or applicable to either of the Parties or their respective affiliates in relation to the activities under, or funds paid or distributed under, this Agreement, in respect of the Community Benefit Fund;
 - (b) shall not be construed to create any obligation (including any obligation of favourable treatment) of the Recipient to the Proponent, except as specifically set out herein; and
 - (c) are for the overall benefit of the Recipient and its residents and in recognition of the Proponent's community relations efforts.
- 4.8 It is understood that any contracts entered into between the Proponent and the Recipient are not intended to secure any improper advantage for the Proponent under this Agreement or with respect to the Project.
- 4.9 The Parties have not made, offered or accepted, and shall not make, offer or accept, any payment, gift, promise or other advantage, whether directly or through affiliates or intermediaries, in violation of the anti-bribery laws or Anti-Corruption Laws applicable to the activities under this Agreement or in respect of the Project.

Article 5 – Annual Contribution General Guidelines

- 5.1 The Community Benefit Fund will be distributed as follows each year:
- (a) 60% of the Annual Contribution \$(9,131.00)/annum) to be fixed (“**Fixed Allocation**”) for distribution as per section 5.2 below;
 - (b) 40% of the Annual Contribution (\$6,086.00/annum) to be distributed through an open application process (“**Open Allocation**”).
- 5.2 The Fixed Allocation shall be distributed in the following manner:
- (a) Environmental Education: a minimum of two environmentally focused programs will be conducted in Lethbridge County schools, with reasonable efforts to prioritize R.I. Baker Middle School, John Davidson School and Kate Andrews High School, each year, preferably one entire middle school grade and one high school grade (i.e.: Grade fives and elevens). The full cost of this program will be covered by the fund and the provider of the program will be agreed upon by the Recipient and Proponent. Annual maximum \$4,000.00.
 - (b) University or College Scholarships: a minimum of one scholarship to be awarded to high achieving student(s) currently enrolled in Lethbridge County schools with

reasonable efforts to prioritize Kate Andrews High School, that are attending an accredited University or College in Canada or the United States, ideally in the field of Science, Technology, Engineering or Mathematics, the following year. Annual maximum per scholarship: \$2,000.00. Annual maximum for all scholarships: \$4,000.00.

- (c) Community Fee Assistance Program: a subsidy program to provide funds directly to programs on behalf of eligible individuals to access recreation, arts, libraries, culture programs or activities (i.e.: swim passes/lessons, arts. or sport program registration (formal or drop-in); or community provided transportation for necessities or programs (i.e.: handi-bus vouchers/passes). Barons Eureka Warner Family and Community Support Services will administer the Community Fee Assistance Program, and in doing so establish parameters for eligibility, application process and complete list of eligible expenses.
- (d) Where funds remain after the fulfillment of section 5.2a and b. above, or where a suitable program cannot be provided the balance of the fixed allocation funds may be made available through the Community Fee Assistance Program or Open Allocation process. Recipient will notify Proponent if funds are unable to be allocated per section 5.2a and b.

5.3 The Open Allocation process is detailed below:

- (a) Applications will be accepted from any locally based registered organization or party on an annual basis. Complete applications must be submitted to the Recipient prior to March 1st of each calendar year. Applications will be created and provided on the Recipient's website. A link to the applications will also be inserted on the Proponent's website.
- (b) Open Allocation funding recommendations will be made by the Recipient's Community Services Coordinator in cooperation with a representative of the Proponent with final approval by Recipient's Council. A representative of the Proponent will be invited to review the Open Allocation applications by March 15 and recommend applications to the Recipient by April 15.
- (c) Any funding that is not allocated will be reallocated to the Community Fee Assistance Program or carried over to the next intake.

5.4 Open Allocation funding categories include

- (a) Environmental enhancement - projects, events or initiatives that improve environmental quality, reduce environmental degradation, or increase community awareness of environmental issues
- (b) Social Welfare – projects, events or initiatives that provide support to at-risk groups or individuals within the community

- (c) Arts & Culture - projects, events or initiatives that celebrate local artists or culture or provide opportunities for groups or individuals to experience or create art
- (d) Health and Wellness - projects, events or initiatives that promote healthy lifestyles and choices and general community wellness
- (e) Education & Science - projects, events or initiatives that support learning and use of technology and innovation to improve the community
- (f) Emergency Relief - projects, events or initiatives that support individuals or businesses to adapt or recover from emergency situations.
- (g) Applications will be required to submit the appropriate form and provide any details deemed necessary by the Recipients review committee.
- (h) Fixed and Open Allocation funding decisions will be announced by June 15th, and all applicants will be advised in writing of the status of their application. All Fixed and Open Allocation funding decisions will be approved by the Recipient's Council.

Article 6 – Annual Contribution General Eligibility, Approval and Accountability

5.5 Eligible organizations or parties based in the Recipients geographical boundaries include:

- (a) Charitable organizations registered with CRA
- (b) Registered or incorporated not-for-profit organizations, under the Agricultural Societies Act, The Alberta Societies Act or Part 9 of the Companies Act, in good standing
- (c) Schools
- (d) Individuals or groups at the discretion of the Recipient and Proponent

5.6 Funding is not intended for ongoing operations or expenses, but to fund projects, special events or initiatives. Projects should be generally available to or benefit the community as a whole and funding should be utilized within an 18-month period from approval. Projects fulfilling more than one funding category and/or located within the Palliser School Division and Lethbridge County boundaries will be given preference. Funding can be provided for any amount between \$100 and \$10,000 annually. Examples include educational programs, capital projects or equipment (i.e.: community garden enhancements, school upgrades, playgrounds, seniors centre), community events related to funding categories (i.e.: Farmer's Market, Long Table, Culture Days, Children's Festival, Music or Art festivals), or initiatives (i.e.: Holiday Train, Plein Air Paintout, Artisan Markets, etc.).

5.7 Ineligible projects, organizations and parties include:

- (a) Individuals or individual pursuits unless approved by Council for consideration
- (b) For profit organizations

- (c) Projects occurring outside Lethbridge County or surrounding area
- (d) Sporting events, tournaments, bonspiels, etc.
- (e) Third party fundraisers or fundraising events
- (f) Conferences, trade shows, conventions (unless directly related to the funding categories)
- (g) Private foundations
- (h) Expenses incurred prior to project approval

5.8 The following factors shall be considered during the approval process:

- (a) Community enhancement/enrichment
- (b) Environmental protection/enhancement
- (c) Overall community impact
- (d) Efficient use of funds

5.9 Accountability of Funds:

- (a) Applicants provided financial support in amounts of \$1,000 or greater, pursuant to this policy will be required to provide a report on their project including how the funds were expended and the benefits to the community and their participants.
- (b) The program, event or activity will be undertaken without alteration from the description in the application.
- (c) The entire amount of financial support provided must be used exclusively for the program, event or activity identified in the application.
- (d) If the organization is unable to conduct the program, event or activity in the current year, a written letter of request for an extension must be submitted. If an extension request is not received, or if an extension is not granted, the organization shall return the funds provided by the County.
- (e) The support of the County and Stirling Wind shall be recognized during the program, event or activity in the manner described in the application.
- (f) Programs, events, and activities receiving support pursuant to this policy must be conducted in accordance with all applicable laws, statutes, and regulations.

- (g) Organizations receiving support pursuant to this policy must repay to the County any unexpended portion of the funds provided, or any amounts expended for the purposes other than those specified in the application.

Article 7 - Representations, Warranties and Covenants of the Recipient

- 7.1 As of the date hereof and throughout the term of this Agreement, the Recipient represents, warrants, and covenants to and with the Proponent that:
- (a) the Recipient has obtained approval and has authority to execute and deliver this Agreement and to perform its obligations hereunder;
 - (b) this Agreement has been duly executed and delivered by the Recipient and constitutes a valid and binding obligation of the Recipient enforceable against it in accordance with its terms;
 - (c) the existence of this Agreement and the commitments under this Agreement will in no way influence or be considered by the Recipient in connection with its decision-making processes relating to any decisions concerning the Proponent or in respect of the issuance of any permits or approvals by the Recipient for which it could exercise influence over either for or against the Proponent;
 - (d) the Recipient will comply with all applicable Anti-Corruption Laws;
 - (e) the receipt and/or use (as applicable) of the Annual Contributions and the Community Benefit Fund by the Recipient does not and will not violate any applicable laws, including but not limited to any anti-bribery laws or Anti-Corruption Laws;
 - (f) no part of the Annual Contributions or the Community Benefit Fund has been or will be offered, promised, or given, directly or indirectly (including through an agent, subcontractor, or other intermediary):
 - (i) to or for the personal benefit of any Government Official in order to influence or reward official action; or
 - (ii) to any person to influence that or another person to act in breach of a duty of good faith, impartiality or trust, to reward the person for acting improperly, or where the recipient would be acting improperly by receiving the thing of value;
 - (g) neither the Recipient nor any of its representatives, agents or administrators will receive or agree to accept any payment, gift or other advantage which violates Anti-Corruption Laws in relation to the Proponent, this Agreement or the Community Benefit Fund;
 - (h) the Recipient will not, without prior written consent of the Proponent, assign or delegate any of its rights or obligations under this Agreement to a third party. The Recipient will not share any part of the Community Benefit Fund with third parties except as authorized under this Agreement or otherwise authorized in writing by the Proponent;
 - (i) all reporting obligations, including the conditions contained or contemplated herein and

any obligations to regulatory agencies and tax authorities, will be met in connection with the Community Benefit Fund and the use thereof;

- (j) the Recipient will notify the Proponent promptly, and in any event within three (3) business days, upon becoming aware of any breach, imminent breach or suspected or potential breach of this Agreement by the Recipient or its representatives, agents or administrators; and the Recipient will communicate all of the representations and warranties set out in this Agreement to all persons who perform services for it or on its behalf in relation to the Proponent or the Community Benefit Fund, including any contractors, agents or representatives.

7.2 In the event that the Proponent has reason to believe that a breach of any of the conditions, representations, warranties or undertakings in this Agreement has occurred or is imminent, the Proponent may, in its sole and unfettered discretion, take any or all of the following actions:

- (a) withhold any contributions under this Agreement until such time as it has received confirmation to its satisfaction that no breach has occurred or is likely to occur;
- (b) take such other steps as are reasonably necessary to avoid a violation of Anti-Corruption Laws and amending this Agreement to include such additional conditions, representations, warranties, undertakings, and other provisions as it believes necessary, and the Recipient hereby agrees that this Agreement will be so amended to include such additional provisions;
- (c) report any conduct that constitutes or may constitute a violation of applicable Anti-Corruption Laws to the appropriate authorities; or
- (d) terminate this Agreement immediately in the event that the Proponent concludes, in its sole opinion, that the Recipient has breached any condition, representation, warranty, or undertaking under this Agreement relating to compliance with Anti-Corruption Laws, or that any such breach is likely to occur unless the Agreement is terminated.

7.3 The Recipient acknowledges and agrees to the restrictions regarding the management, administration, allocation, distribution and use of the Community Benefit Fund by the Recipient pursuant to this Agreement and understands that these restrictions reflect the Proponent's diligence in ensuring that it remains in compliance with all relevant foreign and domestic anti-bribery legislation and Anti-Corruption Laws at all times. The Recipient shall work cooperatively with the Proponent and make reasonable commercial efforts to implement additional reasonable governance processes, business standards, procedures and controls regarding anti-bribery and anti-corruptions in relations to its obligations under this Agreement, including those necessary to avoid any real or apparent impropriety or corruption, conflict of interest, illicit use of influence, offering or soliciting improper payment and interference with the Proponent's development, management and ownership of the Project and the use of the Community Benefit Fund.

7.4 Notwithstanding anything to the contrary herein, the Recipient, in its administration and management of the Community Benefit Fund, shall refrain from offering, giving or promising, directly or indirectly in any manner whatsoever, money or anything of value to a

Canadian or foreign Government Official to influence the official in his or her official capacity, induce the official to do or omit to do an act in violation of his or her lawful duty, or to secure any improper advantage in order to assist in obtaining or retaining business for or with, or directing business to, any person.

Article 8 – General

- 8.1 The Recipient is responsible for all taxes imposed on it in connection with the receipt and use of the Annual Contributions by the Recipient. The Proponent shall have no liability with respect to any such taxes. Upon request by the Proponent, the Recipient agrees to use reasonable efforts to cooperate and deliver any documentation relating to the Annual Contributions, the Community Benefit Fund or this Agreement, which the Proponent deems necessary to prepare or inform the Proponent's tax filings.
- 8.2 The Proponent shall not be liable for any loss, injury, or damage to the Recipient or for any loss, injury or damage to its elected officials, officers, employees, representatives, servants, contractors, and agents or to the property of the Recipient or its elected officials, officers, employees, representatives, servants, contractors, or agents, resulting from or relating to this Agreement, the Annual Contributions or the Community Benefit Fund.
- 8.3 The Recipient agrees to indemnify the Proponent against any claims, losses, costs, fines, or damages that arise in connection with the Annual Contributions, the Community Benefit Fund and/or a violation of the terms and conditions of this Agreement.
- 8.4 The Recipient shall keep proper books and records of transactions in accordance with the Municipal Government Act, the Public Sector Accounting Board (PSAB) and applicable County policies in relation to the Annual Contributions, the Community Benefit Fund and its uses thereof. The Recipient shall also use appropriate internal accounting controls to ensure that transactions and payments are recorded as necessary for the purpose of preparing financial statements in accordance with applicable accounting standards.
- 8.5 The Proponent or its designee has the right to audit and monitor the Recipient's receipt and use of the Annual Contributions and the Community Benefit Fund for a term of not less than seven (7) years from the date of receipt of the final Annual Contribution by the Recipient. Such an audit may include, but is not limited to, a review of all documents concerning the Annual Contributions and the Community Benefit Fund and its use, as well as interviews regarding the same with the Recipient's employees, representatives or other personnel. The Recipient will cooperate with any such audit, including providing the Proponent with documents requested in original form and making available individuals for interview as the Proponent may deem necessary.
- 8.6 The Recipient is required to keep all records relating to the Annual Contributions and the Community Benefit Fund and its uses thereof for not less than seven (7) years following the termination or expiry, as applicable, of this Agreement.
- 8.7 In recognition of the Proponent's Annual Contributions and the establishment of the Community Benefit Fund and further to the obligations set forth in Section 3.2(b) and (c), the Recipient agrees that it will unless otherwise requested by the Proponent display the

Proponent's corporate name, logos, marks and signage (the "**Proponent Marks**"), as reasonable and applicable, on the Recipient's infrastructure or at any applicable community event for which the Community Benefit Fund was utilized in respect thereof. The parties agree that, prior to the Recipient utilizing or displaying the Proponent Marks, the Recipient shall provide the Proponent with thirty (30) days' written notice of its intention to display any such Proponent Marks in each instance, and the Proponent shall have an ability to request changes in the use or display of such Proponent Marks or, in the Proponent's sole discretion, reject the use of the Proponent Marks by the Recipient in respect of a particular matter.

- 8.8 This Agreement shall be governed by the laws of the Province of Alberta and the laws of Canada applicable therein.
- 8.9 This Agreement constitutes the entire agreement between the Parties pertaining to the Annual Contributions and the Community Benefit Fund and overrides and hereby renders null and void any and all prior agreements, discussions, undertakings, correspondences, statements, understandings, or communications whatsoever, whether written or oral, regarding the subject matter of this Agreement.
- 8.10 Any notices or statements to be delivered or given by either Party to this Agreement must, unless otherwise permitted, be in writing and shall be delivered to the address and to the individual indicated below:

- (a) to the Recipient:

Lethbridge County
100,905 4th Avenue South
Lethbridge, Alberta T1J 4E4

Attention: Cole Beck, Chief Administrative Officer
Email: cbeck@lethcounty.ca

- (b) to the Proponent:

Stirling Renewable Energy LP
c/o Potentia Renewables Inc.
200 Wellington Street West, Suite 1102
Toronto, ON M5V 3C7

Attention: Legal
Email: legalnotices@potentiarenewables.com and windbm@potentiarenewables.com

- 8.11 Either Party may give notice to the other Party hereto in the manner herein provided of a change of address or designation of individual. Any notices personally delivered or delivered by electronic mail shall be deemed given when so delivered; and any notices mailed shall be deemed to have been given on the third business day after being mailed by registered mail, provided if there is any disruption in postal service, they shall be deemed to have been given and received on the day of actual delivery.

- 8.12 This Agreement shall in no way be interpreted and construed as creating any agency, partnership, joint venture relationship, or taxable entity between the Parties for any purpose whatsoever. This Agreement shall inure to the benefit of and be binding upon the Parties hereto and their respective heirs, executors, administrators, predecessors, successors and permitted assigns.
- 8.13 All references in his Agreement to dollars are in Canadian currency.
- 8.14 All of the provisions of this Agreement shall be treated as separate and distinct, and if any provision hereof is declared invalid, the other provisions shall nevertheless remain in full force and effect.
- 8.15 This Agreement may only be amended in writing by the parties. The non-exercise of, or delay in exercising, any power or right under this Agreement does not operate as a waiver of that power or right, nor does any single exercise of a power or right preclude any other or further exercise of it or the exercise of any other power or right. A power or right of a Party under this Agreement may only be waived in writing by that Party.
- 8.16 This Agreement may be executed in any number of original or electronic PDF counterparts, each of which shall be deemed to be an original and all of which taken together shall constitute one agreement.

[This space intentionally left blank; execution page to follow.]

IN WITNESS WHEREOF the Parties have executed this Agreement with effect as of the date first above written.

Lethbridge County

Stirling Renewable Energy LP, by and through its general partner, Stirling Wind Project Ltd.

Signature:

Signature:

Name:

Name:

Title:

Title:

Authorized Representative of Recipient

Authorized Signatory of the Proponent

Signature:



Name:

Cole Beck

Title: Chief Administrative Officer
Lethbridge County

Authorized Representative of Recipient

AGENDA ITEM REPORT



Title: Fire Services Invoice Waiver Request
Meeting: Council Meeting - 20 Jun 2024
Department: Corporate Services
Report Author: Jennifer Place

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 14 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

On December 3, 2023, the Coaldale Fire Department responded to a structure fire within the County. Following the fire call, the County issued an invoice based on the fire call log related to the incident. Upon receipt of the invoice, Mr. Osmond sent a letter to the County regarding some payment options. In response to the letter the Director, Corporate Services contacted Mr. Osmond and eventually a payment agreement was made between Mr. Osmond and the County on February 22, 2024. Following the agreement, the Director was contacted with a request for the Osmond's to appear as a delegation before Council to further discuss the fire invoice. On May 2, 2024 Mrs. Osmond came before Council with a request to consider some waiver of the fire services invoice charges, at which time Council directed administration to bring a report forward to an upcoming council meeting.

The Director reached out to the Osmond's for some clarity of their ask of Council and was asked to make the request that half of Invoice #3958 in the amount of \$11,558.00 be waived and that the Osmond's enter into a new agreement to make payments of \$50 a month until paid in full.

RECOMMENDATION:

That County Council not waive fire services invoice #3958 in the amount of \$11,558.00, and directs administration to work with Mr. and Mrs. Osmond to update the payment agreement with the invoice being paid in full on or before (DATE).

REASON(S) FOR RECOMMENDATION(S):

The proposed recommendation has been made as fire services has been set up as a fee for service, as the County contracts fire services from its urban neighbors and is responsible to pay the responding departments. Additionally, a payment agreement was entered into by the Osmond's on February 22, 2024, further to that a waiver would not only impact the revenue required to pay for the service but could set precedent for future emergency service related invoices.

BACKGROUND INFORMATION:

As stated within the executive summary, the Coaldale Fire Department responded to a structure fire on December 3, 2023 and an invoice for the fire call was issued to the property owners. Following the invoice being issued a letter was received from the Osmond's (attached) with a request to discuss payment options. The Director, Corporate Services contacted Mr. Osmond and over the course of a few weeks discussions were held regarding options, including the option to present to council. Following these discussions a suitable pay back option was determined and a payment agreement arrangement was made on February 22, 2024, as per the attached email correspondence.

After the agreement was in place, the Director, Corporate Services was contacted by Mr. Osmond to see if they could appear as a delegation before Council to further discuss the fire services invoice. On May 2, 2024, Mrs. Osmond appeared before council with a request to reconsider the fire services invoice. After the delegation at Councils direction, the Director, Corporate Services contacted the Osmond's to determine the details of their request.

The request is to have the invoice reduced by 50%, with a payment arrangement of \$50 per month with no penalties to be added until the invoice is paid in full.

Based on the request made the payment schedule would be as follows:

Invoice #3958 Balance	\$11,558.00
50% reduction per request	\$5,779.00
\$50 payment per month	115.5 Payments (9.6 Years)

Administration does its best to work with County stakeholders in an effort to accommodate their needs as best as we can while still managing the County's financial priorities. An updated agreement can be negotiated at Council's direction, however administration would recommend that a payment deadline be identified to ensure the County is able to recoup its costs within a reasonable timeframe.

ALTERNATIVES / PROS / CONS:

Council could waive some or all of the invoice

PRO - Would satisfy the request being made.

CON - Loss of revenue meant to offset costs paid to the responding department and would set precedent.

Council could direct administration to renegotiate the payment agreement

PRO - Would partially satisfy the request, and required revenues to offset costs could still be collected over time.

CON - Delays receipt of payment further.

FINANCIAL IMPACT:

Could impact the amount and timeframe of the invoice collection.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[Osmond Letter to County Redacted](#)

[Fire Services Invoice Redacted](#)

[Email correspondence -Osmond Fire Invoice_Redacted](#)

Jan, 11 2024

This letter is being written in reference to the fire on Dec 3 2023 which the county emergency service responded to at [REDACTED] (Darrell Osmond)

First of all we are extremely grateful for this service provided by the county in responding quickly and efficiently. However, our financial situation at present, with livestock lost and cost to reconstruct even to the bare minimum to operate here, is going to stretch our dollars to the limit. With no insurance coverage on any of the buildings or its contents, the unforeseen fire bill will be impossible to cover at this point without help. I am therefore appealing to the county to consider what options there are to mitigate this fire bill. Again, I feel very fortunate the county provided the much needed emergency service.

Sincerely, Darrell Osmond

Darrell Osmond

Phone # [REDACTED]



Lethbridge County
 #100, 905 - 4th Avenue South
 Lethbridge, AB T1J 4E4
 CANADA

Page#: 1

HISTORICAL INVOICE

Questions or Inquiries?

Online: <https://lethcounty.ca/>
 Email: mailbox@lethcounty.ca
 Phone: (403) 328-5525

Monday to Friday 8:30 am - 4:30 pm

Accounts left unpaid after the due date are subject to a 2.0% finance charge compounded monthly.

Returned payments are subject to a \$35.00 NSF fee

OSMOND, DARRELL & LINDA MAE

[REDACTED]
 [REDACTED]

GST Reg. #: R106989023

Customer #: [REDACTED]

Invoice Total: \$11,558.00

Invoice Date: 12/14/2023

Invoice #: IVC00003958

Invoice Description	Quantity	Unit Price	GST	Amount
EMERG. SVCS-CLD-C11	2.00	\$205.00	\$0.00	\$410.00
EMERG. SVCS-CLD-C12	2.75	\$205.00	\$0.00	\$563.75
EMERG. SVCS-CLD-E11	2.75	\$700.00	\$0.00	\$1,925.00
EMERG. SVCS-CLD-Q1	2.75	\$700.00	\$0.00	\$1,925.00
EMERG. SVCS-CLD-R1	2.75	\$700.00	\$0.00	\$1,925.00
EMERG. SVCS-CLD-T1	2.75	\$700.00	\$0.00	\$1,925.00
EMERG. SVCS-CLD-FP12	1.25	\$205.00	\$0.00	\$256.25
EMERG. SVCS-PBFH-T3	2.25	\$700.00	\$0.00	\$1,575.00
EMERG. SVCS-LEFH-T21	0.75	\$700.00	\$0.00	\$525.00
FIRE INVESTIGATION	4.00	\$132.00	\$0.00	\$528.00

STRUCTURE FIRE, INCIDENT DATE: DEC. 3, 2023,
 LOCATION: [REDACTED] LETH COUNTY, DEPT:
 CLD-F23102509.

Payment Return Slip

\$0.00 \$11,558.00

Please complete and return this slip with your payment. Make your payment payable to Lethbridge County. For other payment options, please contact us



Please make cheque payable to:
 Lethbridge County

Invoice Date	Customer #	Invoice #	Amount Due
12/14/2023	[REDACTED]	IVC00003958	\$11,558.00

[REDACTED]
 [REDACTED]

Amount Paid
 \$

Lethbridge County
 #100, 905 - 4th Avenue South
 Lethbridge, AB T1J 4E4
 CANADA

From: [darrell.osmond](mailto:darrell.osmond@lethcounty.ca)
To: [Jennifer Place](mailto:jplace@lethcounty.ca)
Subject: Re: FW: FW: Darrel Osmond_Structure Fire
Date: Thursday, May 23, 2024 8:23:43 AM
Attachments: [image001.png](#)
[image002.png](#)

As per your request ,I am asking for a 50 dollar payment each month and a reduction of the bill to half the amount.

On Wed, May 22, 2024 at 8:34 AM Jennifer Place <jplace@lethcounty.ca> wrote:

Good Morning,

Thank you for your email. If you could please provide a few more details per my questions below, so I am able to provide council with a wholesome report that would be most helpful.

If you could please provide an actual amount or percentage decrease of what you are asking for as I know council will ask the question and I am not comfortable determining that on your behalf.

As well, is \$50 per month the maximum you are able to commit to, as when I provide the report, I will have to layout the length of time it would take to pay back based on your request as part for council consideration.

Thank you for your assistance.



Jennifer Place, GradDipMgmt

Director, Corporate Services

P: 403.380.1576 **C:** 403.331.5412 **E:** jplace@lethcounty.ca

www.lethcounty.ca

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past.
May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

From: darrell osmond <[REDACTED]>
Sent: Tuesday, May 21, 2024 10:28 PM

To: Jennifer Place <jplace@lethcounty.ca>

Subject: Re: FW: FW: Darrel Osmond_Structure Fire

Thankyou for asking what we need.

After much thought

I would be very grateful if the County would greatly reduce the bill, as we are seniors on a tight budget .and we have been told of others who have been helped in the past.

I would also appreciate being able to make fifty dollars payments per month, interest free without penalties or deadlines until the bill is paid in full.

This will make it possible for us to make ends meet each month.

Linda Osmond

to consider your question.

On Thu, May 9, 2024 at 4:03 PM Jennifer Place <jplace@lethcounty.ca> wrote:

Hello Mr. Osmond,

Unfortunately, I don't know if I'll be able to get it on the agenda for the upcoming meeting but should for the first meeting in June.

Could you provide me with a more specific number or amount please, as it would aid in putting the report together for council. I want to ensure I am fully capturing your request.

Thank you,



Jennifer Place, GradDipMgmt

Director, Corporate Services

P: 403.380.1576 C: 403.331.5412 E: jplace@lethcounty.ca

www.lethcounty.ca

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

From: darrell osmond <[REDACTED]>
Sent: Thursday, May 9, 2024 3:47 PM
To: Jennifer Place <jplace@lethcounty.ca>
Subject: Re: FW: FW: Darrel Osmond_Structure Fire

This reply maybe too late. Sorry Jennifer/ believe my wifes hope council to consider if that amount of fire bill could be lowered Im sure she would think it wonderful if there was no bill at all, LOL

On Mon, May 6, 2024 at 8:53 AM Jennifer Place <jplace@lethcounty.ca> wrote:

Good Morning Mr.Osmond,

Following your wife's delegation at Council on May 2nd, I have been asked to bring some

information forward to an upcoming meeting, which I am happy to do. However, it was not clear what the ask is that I should be presenting. Could you please provide me with your ask of Council so I can prepare the council report, be it more time to pay, a waiver of some or all of the fire services invoice or something else.

I will need to have the report prepared no later than Thursday in order to get on the next agenda, if you are able to provide me something in the next day or two.

Thank you for your assistance.



Jennifer Place, GradDipMgmt

Director, Corporate Services

P: 403.380.1576 **C:** 403.331.5412 **E:** jplace@lethcounty.ca

www.lethcounty.ca

In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

From: darrell osmond [REDACTED]
Sent: Thursday, February 22, 2024 8:14 PM
To: Jennifer Place <jplace@lethcounty.ca>
Subject: Re: FW: Darrel Osmond_Structure Fire

Yes, I agree.

On Thu, Feb 22, 2024 at 8:50 AM Jennifer Place <jplace@lethcounty.ca> wrote:

Hello Mr. Osmond,

Thank you for email. Rather than a formal agreement, if you could please reply to this email stating that you agree to the below terms that will be sufficient.

I, Darrel Osmond agree to pay the below invoice in full on or prior to December 31, 2024. Any balance remaining as of January 1, 2025, will be added to my property tax roll as per the Municipal Government Act Section 553. Lethbridge County agrees that between now, February 22, 2024 and December 31, 2024, penalty will not be added to the below invoice balance.

Invoice #INV00003958

Description – Fire services for a structure fire on December 3, 2023.

Balance owing - \$11,558.00

Thank you,

Jennifer Place, GradDipMgmt
Director, Corporate Services

P: 403.380.1576 C: 403.331.5412 E: jplace@lethcounty.ca
www.lethcounty.ca



*In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past.
May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.*

From: darrell osmond <[REDACTED]>
Sent: Tuesday, February 20, 2024 9:33 AM
To: Jennifer Place <jplace@lethcounty.ca>
Subject: Re: FW: Darrel Osmond_Structure Fire

Jennifer, I have read over fire bill and time each piece of equipment was charged out. I think I will leave the fire bill appeal alone. I believe fire services were called out as necessary and will pay the full amount. Hopefully we can still have until year end. Let me know if I need to sign this agreement, Thank you Darrell Osmond

On Thu, Feb 15, 2024 at 3:14 PM Jennifer Place <jplace@lethcounty.ca> wrote:

Hello Mr. Osmond,

I have not heard back from you since sending the below email on February 1, 2024, with regards to the attached outstanding invoice.

Could you please advise as to how you would like to proceed. As per our previous conversations I am happy to work with you, however the County does need some communications in order to continue to not add penalty on the outstanding account.

Please note I will be working from home over the next week if you would like to email me and we can connect from there.

Thank you,

Jennifer Place, GradDipMgmt
Director, Corporate Services
P: 403.380.1576 C: 403.331.5412 E: jplace@lethcounty.ca
www.lethcounty.ca



In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.

From: Jennifer Place
Sent: Thursday, February 1, 2024 8:02 AM
To: [REDACTED]
Subject: Darrel Osmond_Structure Fire

Good Morning Mr. Osmond,

Attached is a copy of the letter you provided to the County. I apologize that I did not get this to you yesterday as promised, my day go away from me.

If you could please have something to me no later than end of day tomorrow, Friday February 2nd I can then get it onto the February 15th Council meeting agenda.

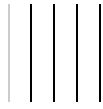
I am out of the office tomorrow but will be responding to emails if you have any further questions.

Thank you,

Jennifer Place, GradDipMgmt
Director, Corporate Services
P: 403.380.1576 C: 403.331.5412 E: jplace@lethcounty.ca
www.lethcounty.ca



In the true spirit of reconciliation, we acknowledge all those who call this land home now and for thousands of years in the past. May we respect each other and find understanding together and recognize the benefits that this land provides to all of us.



AGENDA ITEM REPORT



Title: ARMAA - 2024 Annual Conference Sponsorship
Meeting: Council Meeting - 20 Jun 2024
Department: Administration
Report Author: Cole Beck

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 22 May 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

The 2024 Alberta Rural Municipal Administrators' Association's annual conference will be held in Lethbridge on August 28 & August 29, 2024.

RECOMMENDATION:

That Lethbridge County sponsors the 2024 Alberta Rural Municipal Administrators' Association Conference in the amount of \$1,000 with funds to be utilized from Council's Discretionary Reserve.

PREVIOUS COUNCIL DIRECTION / POLICY:

County Council has previously supported the CAO's membership with ARMAA.

BACKGROUND INFORMATION:

The ARMAA Conference is held annually at various locations throughout the Province.

This year the conference and golf tournament are being held in Lethbridge and will focus on crisis management of: Forces of nature, recruitment, Councillor orientations, mental health and homelessness.

There has been a growing tradition that the Host Zone sponsors \$1,000 to help facilitate an excellent conference.

ALTERNATIVES / PROS / CONS:

Alternatives:

- That the County does not sponsor the 2024 ARMAA Conference.
- That the County provides sponsorship for the 2024 ARMAA Conference in a different amount determined by Council.

FINANCIAL IMPACT:

The financial impact would be \$1,000 from the Council Discretionary Reserve.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower



Report to the Community —2023—



Message from the Chair and CEO

2023 was another spectacular year for Green Acres Foundation. Our resident survey results for 2023 show that our residents felt safe in their GAF home – which makes us proud of the work we do. We were also recognized by the citizens of Lethbridge and area as the Best of the Best in Seniors' Housing for the 5th year in a row.

In 2023 we honoured our past with the 50th anniversary of Blue Sky Lodge opening. As well, we opened Phase 1 of Abbey Road Terrace with 15 new apartment suites in a beautiful southside neighbourhood.

As we look ahead, we need to continue in our forward momentum. We are committed to continual improvements of our sites and to growth of our organization. To ensure we are prepared for the necessary future need for housing in our area, the Foundation purchased land in strategic areas of Lethbridge. We are “shovel-ready” for a capital project to rebuild the existing 1979 built lodge in Picture Butte. The new lodge would have appropriately sized suites and amenities with the overall capacity increased to 50 suites. The lodge is a provincially owned building and we need the government's financial support to rebuild. We have been requesting this support from government since 2015 and we will continue to advocate on behalf of the senior citizens in that area in our goal to see this project come to fruition.

Since 1960, the Foundation has been committed to provide superior housing for southern Alberta senior citizens. With services provided by our group of dedicated employees, we can ensure our residents enjoy a high quality of life. We are extremely grateful for the loyalty and dedication shown by our employees, who strive to provide safe, secure and enjoyable housing communities for seniors.



Blue Sky Lodge's 50th Anniversary



Board of Directors

Green Acres Foundation is governed by a nine member Board of Directors. The board members are appointed by the City of Lethbridge, Lethbridge County, the Towns of Coaldale, Coalhurst, Picture Butte and Nobleford, and the Villiage of Barons. The 2023 board members were:

Jeff Carlson, *Chair*
Don McDowell, *Vice Chair*
Heather Caldwell
Rajko Dodic
Ron Gorzitza
Lorne Hickey
Roger Hohm
Cynthia Papworth
Ryan Parker



*Jeff
Carlson*

Jeff Carlson, *Chair*
Board of Directors



*Dawna
Coslovi*

Dawna Coslovi
Chief Executive Officer

403-328-1155



greenacres.ab.ca



@greenacreslethbridge

Who We Are

Our Mission

Green Acres Foundation provides affordable housing and quality services responsive to the needs of clients.

Our Vision

To be a fiscally sustainable organization known for innovation, growth, diversity, and recognized as the trusted choice for affordable housing and quality services.

Our Values

Integrity, honesty, respect, and loyalty

Our Guiding Principles

- We strive for the provision of service excellence while ensuring the safety, security, and dignity of residents and employees
- We are innovative, attuned, and adapt to the future needs in the housing market place.
- We are open to diversity in programs and service delivery
- We uphold the highest ethical standards
- Affordability is a priority in our decision making
- Partnerships, collaboration, and cooperation are integral to our operations.
- We are a good corporate citizen

Our Strategic Priorities

A Great Place to Live	Strategic Alliances and Partnerships	Organizational Growth and Sustainability
A Great Place to Work	Organizational Profile	

We Offer



Housing



Services



Community



Affordability



Security



Activities and
Excursions

Alliances and Partnerships

At Green Acres Foundation we believe that we need to work together with community partners for the good of our residents and organization. The Board of Directors has established that mutually beneficial partnerships should be considered whenever possible. We are proud of the strong partnerships that we have established, as these collaborations assist us in being the housing provider of choice.

Our very strong partnership with Alberta Health Services started in 1999 at Piyami Lodge to provide housing with health care services. As a result residents are able to “age in their community” rather than having to move away from their home. This is the partnership that started the evolution of housing operators and health collaborations which are now available throughout Alberta as the designated supportive living model. Following that Piyami Lodge partnership, the Foundation established three additional partnership agreements with AHS to provide designated supportive living level of care within three home-like lodge settings.

To further assist Albertans from outside of Lethbridge, we offer housing for patients who undergo treatment at the Jack Ady Cancer Centre. Our alliance with the cancer centre dates back to 2010. We continue to receive messages of appreciation from guests accessing this service.

We also have a long-standing partnership with Lethbridge Elder Abuse Resource Network (LEARN). This partnership started in 2016 with the Foundation providing “safe suites” for seniors requiring temporary accommodations and services due to an abusive situation. Since the inception of this innovative program, we have assisted many residents during their stressful time of need; many of whom continue to live with Green Acres Foundation.

We also recognize the importance of partnerships with youth organizations and provide space for the Lethbridge Guides at two lodge sites for their group activities. The intergenerational interaction between the youth and the residents is beneficial to everyone.

In 2023, the Foundation entered into three new partnership agreement(s) with the City of Lethbridge, Government of Alberta, and CMHC and obtained partial funding for the construction of Abbey Road Terrace.

We continue to nurture our existing partnerships with AHS, the Seniors System Navigation Team, LEARN, Volunteer Lethbridge and many of the area schools. Strong partnerships enhance what we are able to offer our residents and we will continue to seek mutually beneficial alliances and partnerships.



“We will never forget your many kindness during our stay. This is so important especially when going through difficult times like cancer treatment. You took away all extra challenges people like us face, and made it a really good experience. God bless you all.”

Barb and John



Successes of 2023

Best of the Best

Green Acres Foundation was voted Best of the Best in the Seniors Housing category for the fifth year in a row!

E-Bike Launch

In April and May 2023, we launched our new assisted E-bikes for our residents. These E-bikes were funded through our annual charity golf tournament, Lions' Club of Picture Butte, and partial funding by the Community Foundation of Lethbridge and Southwestern Alberta.

New Look

Our website got a fresh new look that better represents Green Acres Foundation as a great place to work and live and includes new features to help clients choose their path towards senior living.

Abbey Road Terrace

In July 2023, we welcomed the first residents into Phase One of our historical apartment location. Phase I was completed on time and under budget. Phase II of the building will be completed in July 2024.



Blue Sky Lodge E-bike launch, May 2023



Successes of 2023

Social Media

The gingerbread house contest featured on our Facebook page in December was a great success. This contest generated interest internationally and reached over 6000 people, gaining 66 new followers. The winner was Pemmican Lodge, who created a replica of their Lodge, complete with little gingerbread residents using pretzel walkers.



Pemmican Lodge's gingerbread house

Wheatheart Manor

We purchased Wheatheart Manor apartment building located in Barons, Alberta. This six-unit site provides much needed affordable housing in that municipality.

Our Future

At Green Acres Foundation, we are determined to ensure that sufficient affordable seniors' housing is available in our area. We are "tender-ready" for one re-build project and anticipate breaking ground in the near future. In 2023, we finalized the purchase of property in west Lethbridge – completing our goal of strategically having land available in the three sectors of Lethbridge.



Donations

One of the ways we fulfill our role as a good corporate citizen is through fundraising for other causes. Some of these donations from employees and residents include: \$6,088 to Westminister Elementary School, \$253 to partner schools for Pink Shirt Day/ Anti-Bullying Day, \$957 to the Terry Fox/ Silver Fox Campaign, \$1,213 to Big Brothers/Big Sisters, \$1,300 and 1,329 lbs in food donations to the Lethbridge Food Bank for our "Feed the Bus" event, and 527 lbs of food for the North County Interfaith Outreach Society.

Great Place to Live

"I am very excited and I have been happy to have chosen this place to live."

"Everything is excellent. When I have a chance, I recommend other people to come here and have a look!"

"The variety of outings and activities are exceptional and I enjoy all the staff as they try to accommodate a variety of options."

Great Place to Work

"I totally enjoy working for Green Acres Foundation!"

"I enjoy my work and interaction with staff and residents."

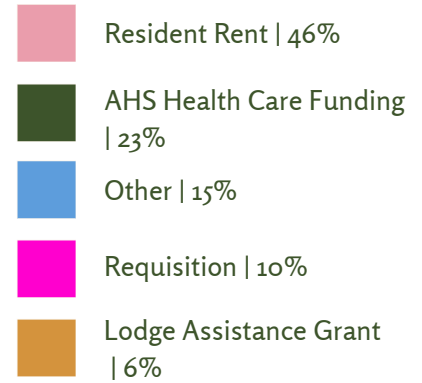
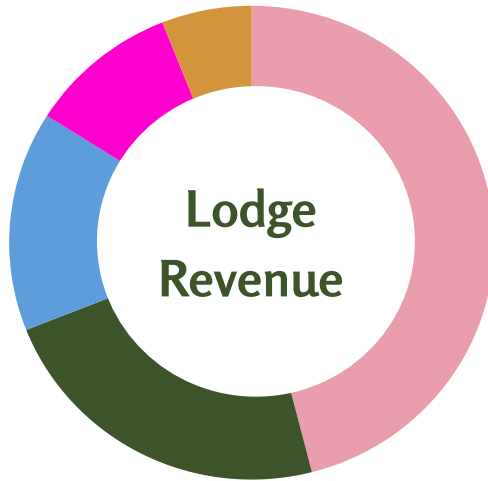
"Great job Piyami for making this a great environment for the residents. Comments are regularly made about the great care given to family members, excellent food and the cleanliness of our facilities."

2023 Financial Overview

Lodge Communities

Other Revenue

- Grants
- Investment Income
- Donation Revenue

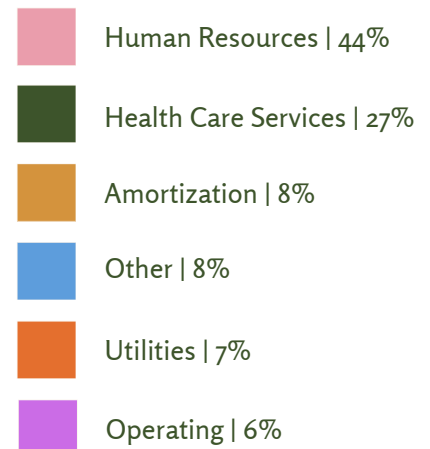


Maintenance Projects

\$442,500

Examples include:

- suite renewals
- boiler replacement
- floor covering replacement
- roofing replacement
- security fencing



\$2,137 / Month

Average Cost to House a Resident

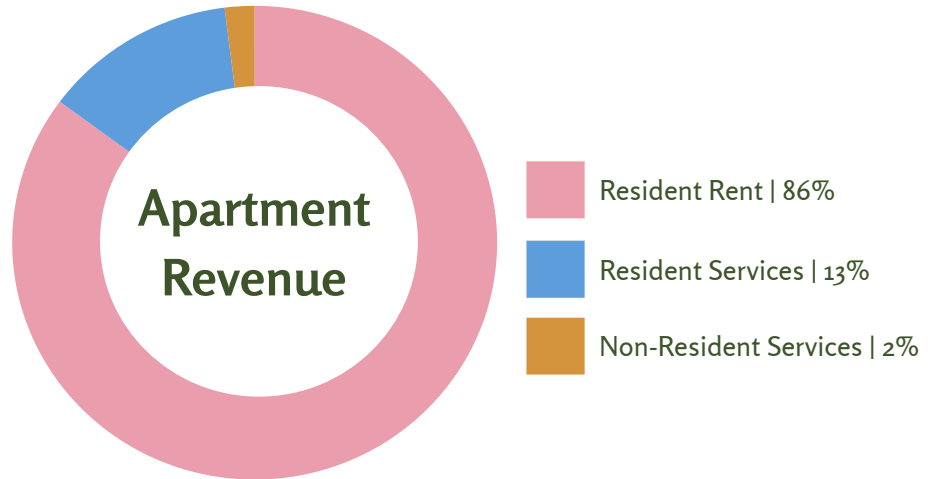


\$1,847 / Month

Average Lodge Rent Paid

2023 Financial Overview

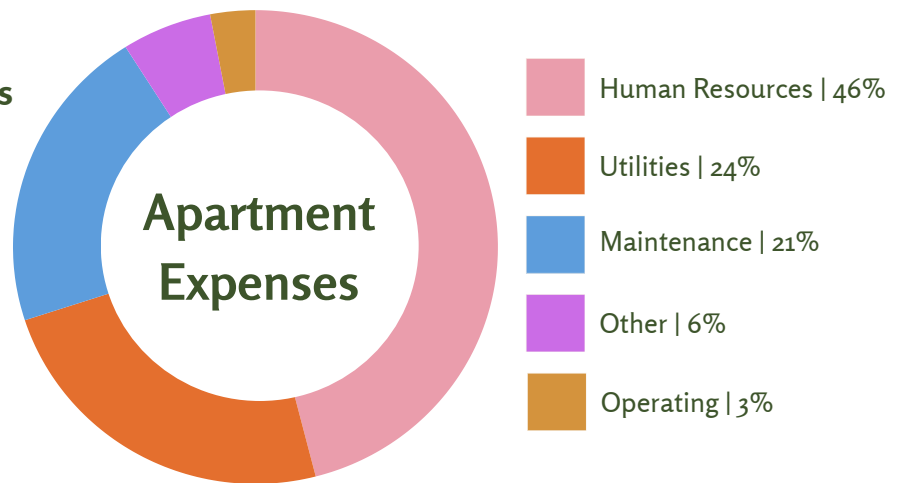
Senior Independent Apartments



Maintenance Projects

\$807,800

- Examples include:**
- sanitary sewer line replacement
 - suite renewals
 - hot water tank replacements



\$698 / Month

Average Cost to House a Resident



\$700 / Month

Average Lodge Rent Paid

2023 Foundation Facts

98%

Ninety-eight percent of residents are satisfied with staff.

98%

ninety-eight percent of residents feel their facility is safe.



2,500

Volunteer Hours



683,280

Meals Served



32,448

Rooms Cleaned

98%

ninety-eight percent of residents are satisfied with the cleanliness of their facility

96%

ninety-five percent of employees say GAF is a great place to work.

Number of Employees & Volunteers



125

Healthcare



128

Chefs
Food Service



56

Resident
Services



67

Support Staff



99

Volunteers

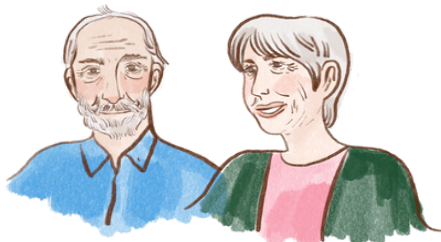
Total 475



13

Number of centenarian residents in 2023.

Percent of Male & Female Residents



Apartments



Lodges



5 retirements totaling 132 years of service.

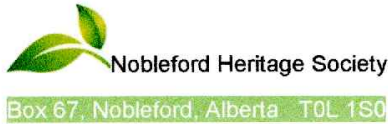
Longest serving employee retired with 43 years of service.

48%

Forty-eight percent of employees have 5 to 10 years of service.

27%

Twenty-seven percent of employees have over 10 years of service.



Good Day,

The Nobleford Heritage Society is organizing the annual Heritage Day event to take place in Nobleford on July 20, 2024. This fun-filled day is kicked off by a pancake breakfast and also includes a candy parade, BBQ lunch, bouncy castles, food trucks, car show, farmers market and many more activities, ending with a delicious supper prepared by the Nobleford Ag Society. There are a number of ways to participate in the event this year!

Candy Parade- We are looking for companies, organizations, towns, families and individuals to participate in the Candy Parade. The lineup for the parade starts at 10:00 am on Railway Ave, beside Richardson Pioneer. You are welcome to enter a float, vehicle, animals, music, etc and are encouraged to hand out candy to the spectators. Please do not exceed 12' in width.

RSVP to nobleford.heritagesociety@gmail.com sign up is not mandatory but would be appreciated.

Farmers Market- We are looking for a variety of vendors to participate in the market. We are looking for vendors in the following areas: fresh produce, baking, crafts, clothing and home-based businesses. There is no fee for the table rental.

Please email nobleford.heritagesociety@gmail.com if you have any questions or to secure your spot.

Financial Sponsor- We are looking for financial sponsors to help support this great community event. All sponsors will be recognized on posters and social media as well as throughout the Heritage Day festivities.

Please contact **Joan Boeder at 403-331-4674** if you are interested in sponsoring or drop off your donation at the Town Office. Please make cheques payable to 'Nobleford Heritage Society'.

We are looking forward to another successful Heritage Day Event and your participation will ensure this community event is a success! We look forward to seeing you on July 20, 2024.

Sincerely,



The Nobleford Heritage Day Society

Email: nobleford.heritagesociety@gmail.com Find us on Facebook!



ALBERTA
MUNICIPAL AFFAIRS

*Office of the Minister
MLA, Calgary-Hays*

AR114112

May 21, 2024

Reeve Tory Campbell
Lethbridge County
100, 905 - 4 Avenue South
Lethbridge AB T1J 4E4

Dear Reeve Campbell:

Further to the information on Local Government Fiscal Framework (LGFF) funding announced on December 15, 2023, I am pleased to provide correspondence for your record confirming the 2024 LGFF Capital and LGFF Operating allocations for your community.

For Lethbridge County:

- The 2024 LGFF Capital allocation is \$2,133,779.
- The 2024 LGFF Operating allocation is \$210,780.

LGFF Capital is a legislated program aimed at providing local governments with substantial notice of their future infrastructure funding. As indicated on the program website, in 2025, your community will be eligible for \$2,426,872. Information on 2026 LGFF Capital allocations will be shared with local governments this fall, after growth in provincial revenues between 2022/23 and 2023/24 has been confirmed and applied to calculate 2026 program funding. LGFF Capital amounts will be published annually on the program website each fall.

Further information on LGFF funding for all local governments is available on the LGFF website at www.alberta.ca/LGFF.

.../2

- 2 -

The LGFF program represents the culmination of significant work between the Government of Alberta and local governments across the province, and I am pleased the program will further our partnership in building Alberta communities together. I look forward to working with your community, and every local government across Alberta, as we continue to build strong and prosperous communities together.

Sincerely,



Ric McIver
Minister

cc: Cole Beck, Chief Administrative Officer, Lethbridge County



May 21, 2024

Reeve Tory Campbell
Lethbridge County
#100, 905 4 Ave S
Lethbridge, AB T1J 4E4

RE: INVESTING IN TOMORROW

Food connects us all to agriculture, yet our youth are becoming increasingly disconnected from the story of their food and Alberta's rural heritage. At Agriculture for Life, Inc. (Ag for Life), we envision a province where all Albertans understand and appreciate the agriculture industry and the impact it has on their lives. Education is the key to achieving this vision.

As members of Alberta's agriculture community, we need:

- Tomorrow's consumers to understand the care, excellence, and pride Alberta's agriculture industry dedicates to producing safe, healthy foods for our communities, our province, and our world. This understanding is essential for Alberta producers and agriculture communities to continue to grow and prosper.
- Tomorrow's decision-makers to appreciate the challenges our producers face and the importance of our industry to the economy – and our lives.
- Tomorrow's workforce to be excited and inspired to consider a career in the agriculture and agri-food sector.

Misconceptions about agriculture are widespread, parents don't always have the answers, and teachers often lack the resources. This is where Ag for Life steps in, providing essential support to bridge these gaps. As the voice of Agriculture in the Classroom Alberta, Ag for Life provides factual, balanced, curriculum-linked agriculture literacy programs and resources to Alberta's educators and students.

Like us, the Rural Municipalities of Alberta recognize the importance of education in sustaining the agriculture industry and vibrancy of rural communities. Their Position Statement emphasizes that **"Teaching children in schools about farming and ranching is vital for building understanding between agricultural producers and non-farming Albertans."**

Sharing this aligned vision, Ag for Life offers invaluable support in advancing this by:

- Developing and delivering new educational programs, resources, and activities tailored to Alberta's unique agricultural landscape.
- Reaching more classrooms across the province, ensuring widespread agricultural literacy.
- Empowering teachers with the knowledge and tools they need to educate the next generation about agriculture.
- Connecting students directly with the food they eat and the people who produce it, fostering a deeper appreciation and understanding.
- Inspiring students to consider careers in agriculture, ensuring a robust and skilled future workforce.

32 Priddis Creek Drive, Foothills, AB T0L 1W2
Cell 403 862 5049 Email bhalford@agricultureforlife.ca



Ag for Life is your bridge to future innovators, educators, consumers, and decision-makers. By partnering with Ag for Life, you can directly contribute to the education and empowerment of our youth, securing a strong future for Alberta's agriculture industry and its rural communities.

We invite you to make a difference, showing your support of this mission. An annual membership of \$2,500 will significantly enhance our ability to provide these essential educational resources and programs. Your support will directly impact the future of agriculture in Alberta, fostering a generation that is informed, engaged, and connected to their food and its sources.

Join us today in making a difference. Together, we can build a more informed and connected community, ensuring the sustainability and success of Alberta agriculture and rural communities for years to come.

I'd be delighted to arrange a call to provide more details about the membership or to explore further collaboration opportunities.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Beth Halford', is written over the typed name and title.

Beth Halford
Manager, Strategic Partnerships

CC: Gary Secrist - Supervisor, Agriculture Services



About Agriculture for Life

For over a decade, Agriculture for Life (Ag for Life) has been connecting educators, as well as students and their families to the food they eat through our science-based, balanced, curriculum aligned programs and resources.

We have established partnerships with a wide range of professional organizations, government agencies and academic institutions to advance the public understanding of Alberta agriculture and food systems.

Our goal is to educate Albertans about agriculture's role in feeding the world as it relates to food security, environment and climate change, economic diversification, innovation, careers and sustainability while building public trust along the entire value chain.

We bring agriculture to life!

Partnering With Ag For Life

Ag for Life is a strong voice in the promotion of agriculture and food literacy - combating myths and misperceptions, while building greater trust in our food system. But we don't do it alone! Ag for Life is supported by a diverse group of stakeholders with shared-values and a commitment to communicate and advance agriculture education that drives sound food policies and consumer choices now and into the future.

If your organization shares our vision, we would be proud to have your support. For more information contact info@agricultureforlife.ca.



agricultureforlife.ca



Our Priority Areas

Agriculture and Food Literacy

Ensuring that all people have access to sustainable, sufficient, safe, healthy and culturally relevant food is a key global challenge today. Human health and wellbeing are inextricably linked with a sustainable food system. Today more than ever, people are disconnected from agriculture with many being two or three generations removed from the farm. This disconnect leaves questions about food, its origins and its production. There is a real need for agriculture and food education if we are to cultivate informed and healthy citizens alongside a vibrant, healthy, sustainable industry. The good news is that there is a demand for this knowledge in schools, communities and homes across Alberta. We believe everyone should understand where their food comes from.

Advocacy

Consumers have questions about their food and how it is being produced. There is a myriad of complex, mis- and contradictory information, from Netflix documentaries to Buzzfeed articles, to the grocery store aisle and Instagram posts, leaving many consumers generally confused about agriculture and food production practices. This confusion, if not addressed, can become irrationally contagious and quickly spiral into mistrust of the entire industry. Misinformation feeds mistrust and we need to be proactive to negate this effect.

Ag for Life advances science-based information, promotes critical-thinking and amplifies Alberta agriculture's story through our robust media and public relations efforts and original content disseminated through our communications channels. Ag for Life is active on Facebook, Twitter, Instagram, LinkedIn, and out in the communities with our Know Your Food Mobile Education Unit.

Rural and Farm Safety

We believe anyone who gets to work, grow up on or visit a farm is blessed. Agriculture is full of possibilities. However we know it can be a dangerous occupation for primary producers and their families. While some injury risks for youth exist in both urban and rural environments, there are major injury risks that are unique to rural settings such as large equipment, livestock, open bodies of water, rural roads and suffocation hazards. Ag for Life's goal is to greatly reduce the number of rural and farm injuries and fatalities by providing educational safety awareness programming to rural youth and their families.

Our Reach

Our unique combination of programming has allowed us to foster deep grass-roots relations with multiple target audiences including primary producers, landowners, and farm families, educators, students, consumers, government, corporations and other industry stakeholders. In 2022, Ag for Life initiatives reached over half a million Albertans.



ALBERTA

TRANSPORTATION AND ECONOMIC CORRIDORS

*Office of the Minister
MLA, Innisfail-Sylvan Lake*

May 28, 2024

AR 97482

Tory Campbell
Reeve
Lethbridge County
100, 905 – 4 Avenue South
Lethbridge, AB T1J 4E4
tcampbell@lethcounty.ca

Dear Reeve Campbell:

I am pleased to advise you and your council that the following projects will be funded under Transportation and Economic Corridors' Strategic Transportation Infrastructure Program (STIP).

STIP – Local Road Bridge:

- BF 70758 Culvert Replacement, maximum grant: \$300,000

STIP – Local Municipal Initiative:

- Township Road 100A Rehabilitation, maximum grant: \$721,598

The final grant amount will be based on the actual eligible costs at the time of project completion, up to the approved maximum grant. Please note that no cost increases will be considered as a condition of this approval.

While I know you are looking forward to sharing this important announcement, I request your confidentiality at this time and ask that you please do not publicly communicate these project approvals until provincial announcements are made.

Our government continues to make investments in developing and maintaining transportation, water, and wastewater infrastructure to support municipalities in improving critical local transportation infrastructure, creating jobs, and stimulating the economy.

.../2

Transportation and Economic Corridors staff will be in contact with your administration to formalize the funding agreements to undertake this work.

Sincerely,

A handwritten signature in blue ink that reads "Devin Dreeshen". The signature is written in a cursive style with a large initial 'D'.

Honourable Devin Dreeshen, ECA
Minister of Transportation and Economic Corridors

cc: Honourable Joseph Schow, MLA for Cardston-Siksika
Honourable Nathan Neudorf, MLA for Lethbridge-East
Darren Davidson, Regional Director, Transportation and Economic Corridors

June 11, 2024

To Reeve and Council,

On behalf of the Town of Coalhurst and Coalhurst Council, I'd like to formally invite you to participate in our Annual Miners Days Parade! This year, the parade will take place on **Saturday, July 27**. We would be honoured to have you be part of Coalhurst's favourite day.

Miners Days Parade

Parade participants may begin staging at 8:00 AM on the north side of Coalhurst High School, along 55th Avenue. The parade itself starts at 10:30 AM.

- If you can join us, please check in for staging no later than 9:30 AM at the Information Booth, which will be set up in the parking lot on 55th Avenue.
- Parking is limited for vehicles not being used in the parade, so please carpool if possible.
- You are welcome to bring candy, however, candy and marketing materials may not be distributed from your float or vehicle. Please have someone walk beside your float to distribute candy by dropping it near parade goers so children maintain a safe distance from the floats. Please do not throw candy toward or into the crowd. If distributing flyers or other paper-based materials, these must be given **by hand** to individuals along the parade route to avoid any littering.
- To register and for more information, click here to complete the registration form: <https://forms.office.com/r/ug3qSHYhJC> or visit coalhurst.ca.
- The parade route is included with this letter.

Town Council Pancake Breakfast

Prior to the parade, we invite you join us for a free pancake breakfast at the Coalhurst Community Centre, located at 527 50th Avenue. Breakfast will be served between 8:00 AM and 10:00 AM.

If you are able to join us, please confirm your availability with Christy Henning at communitydevelopment@coalhurst.ca.

We look forward to hearing from you!

Sincerely,

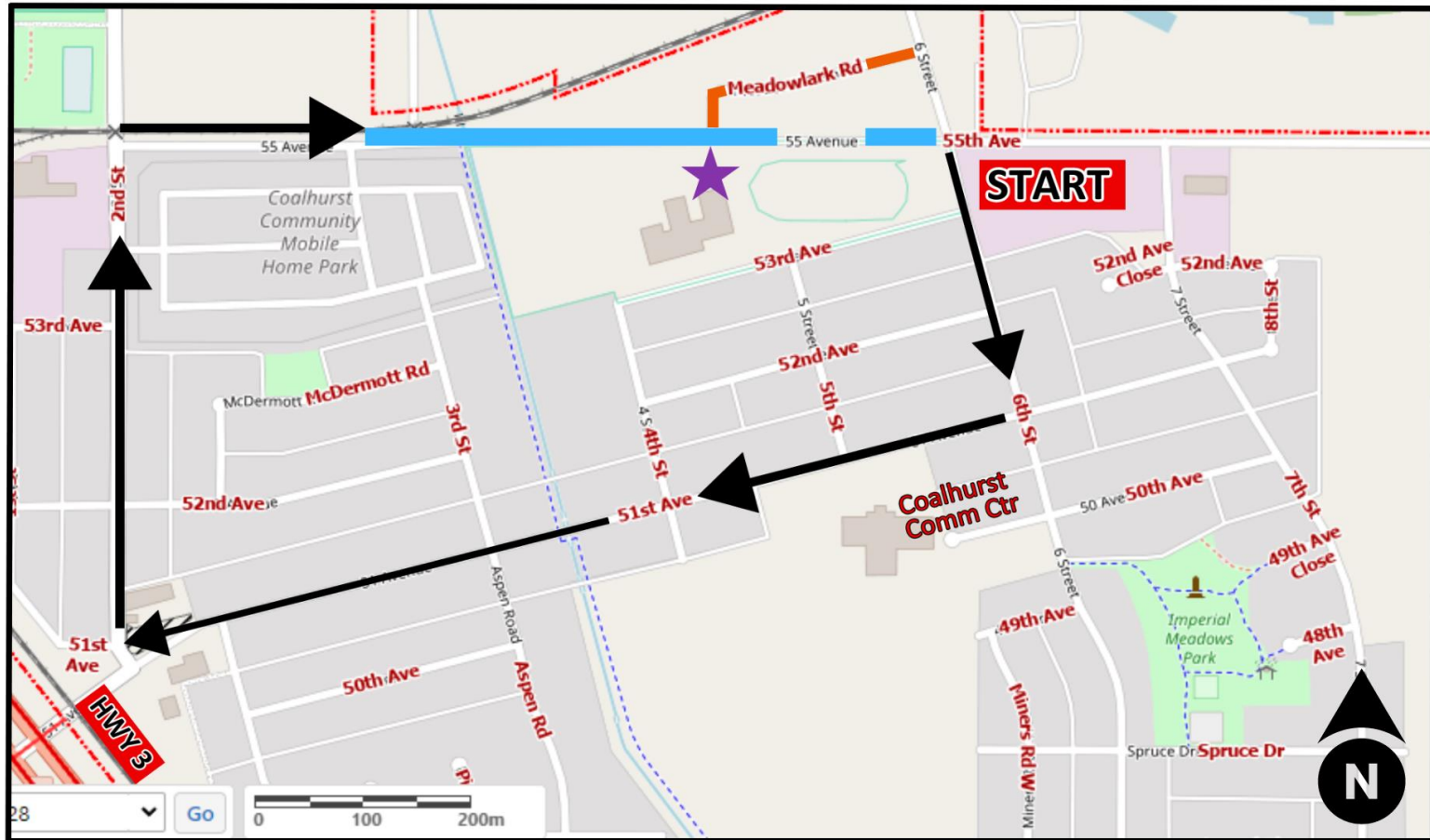


Mayor Lyndsay Montana

MINERS DAYS PARADE
SATURDAY, JULY 27, 2024
 10:30 AM (Staging begins 8:00 AM)



- STAGING AREA
- PARKING AREA
- PARADE ROUTE
- REGISTRATION INFO BOOTH



Town of Coalhurst - 100 – 51 Avenue, Box 456 Coalhurst, Alberta T0L 0V0 | (403) 381-3033

June 13, 2024

Subject: Invitation: Brighter Together Food Journey

Good morning, Tory-

Please find attached an invitation to join us for the Brighter Together Food Journey!

This initiative of Tourism Lethbridge, Lethbridge & District Exhibition and Economic Development Lethbridge aims to celebrate the agri-food sector in our region and the tremendous role it plays in our regional economy.

The invitation for the tour on August 21 is extended to two members of Lethbridge County Council and to all members of County Council for the evening reception on August 20th. When RSVP'ing, please let me know which councillors will be attending.

We look forward to seeing you at these events, set against the backdrop of a Lethbridge summer tradition, Whoop-up Days!

Sandra Dufresne

Cluster Development Manager

Canada's Premier Food Corridor

Economic Development Lethbridge

YOU'RE INVITED

Brighter Together Food Journey

RECEPTION
AUGUST 20. 5-7 P.M.

LAKEVIEW SALON
AGRI-FOOD HUB & TRADE CENTRE

FOOD JOURNEY
AUGUST 21. 9-4 P.M.

CANADA'S PREMIER
FOOD CORRIDOR

RSVP BEFORE JULY 14
[CLICK HERE](#) TO SECURE YOUR SPOT

TOURISM 
Lethbridge

Economic
Development


Lethbridge



LETHBRIDGE & DISTRICT
EXHIBITION

AGENDA ITEM REPORT



Title: Lethbridge County Council Attendance Update - May 2024
Meeting: Council Meeting - 20 Jun 2024
Department: Administration
Report Author: Candice Robison

APPROVAL(S):

Cole Beck, Chief Administrative Officer

Approved - 13 Jun 2024

STRATEGIC ALIGNMENT:



Governance



Relationships



Region



Prosperity

EXECUTIVE SUMMARY:

To remain transparent to its citizens, Lethbridge County Council members report on their activities and events attended throughout the month.

RECOMMENDATION:

No motion required.

REASON(S) FOR RECOMMENDATION(S):

To remain transparent to the citizens of Lethbridge County.

PREVIOUS COUNCIL DIRECTION / POLICY:

A County Council update is provided monthly.

BACKGROUND INFORMATION:

In order to remain transparent to its citizens, Lethbridge County Council members provide a monthly report on their activities and events for the prior month.

ALTERNATIVES / PROS / CONS:

By not reporting activities and events attended by members of Council, citizens are unaware of the events occurring within the region and are unaware of the participation of Council with regards to community events.

FINANCIAL IMPACT:

None at this time.

LEVEL OF PUBLIC PARTICIPATION:



Inform



Consult



Involve



Collaborate



Empower

ATTACHMENTS:

[Lethbridge County Council Attendance Update - May 2024](#)

**Lethbridge County Council Attendance
May 2024**

Division 1

Councillor Lorne Hickey

May 2	Lethbridge County Council Meeting
May 6	Health Professional Recruitment & Retention Committee
May 9-12	Green Acres Strategic Planning
May 16	Lethbridge County Council Meeting
May 17	Lethbridge County Special Council Meeting
May 22	Green Acres Finance Meeting
May 29	Green Acres Board Meeting

Division 2

Reeve Tory Campbell

May 2	Lethbridge County Council Meeting
May 16	Lethbridge County Council Meeting
May 17	Lethbridge County Special Council Meeting
May 24	SRSDC Meeting
May 25	PBHS Grad Ceremony

Division 3

Councillor Mark Sayers

May 2	Lethbridge County Council Meeting
May 8	Exhibition Park Whoop Up Days Media Event
May 16	Lethbridge County Council Meeting
May 17	Lethbridge County Special Council Meeting

Division 4

Deputy Reeve John Kuerbis

May 1	CPAA Conference
May 2	Lethbridge County Council Meeting
May 2	Voiceover at CJOC Radio
May 7	Weekly Meeting with Community Futures Executive Director
May 14	Weekly Meeting with Community Futures Executive Director
May 16	Lethbridge County Council Meeting
May 17	Lethbridge County Special Council Meeting
May 21	Farmland Tax Assessment Presentation – MD Ranchlands
May 22	Farmland Tax Assessment Presentation – MD Willow Creek
May 23	Farmland Tax Assessment Presentation – County of Newell
May 27	Farmland Tax Assessment Presentation – Cardston County
May 28	Community Futures Monthly Board Meeting

Division 5

Councillor Eric Van Essen

May 1	Chamber Executive Meeting
May 2	Lethbridge County Council Meeting
May 9	Picture Butte Chamber of Commerce Meeting
May 16	Lethbridge County Council Meeting
May 15	Picture Butte Chamber of Commerce Meeting
May 17	Lethbridge County Special Council Meeting
May 28	Farmland Tax Assessment Presentation – MD of Taber
May 28	Farmland Tax Assessment Presentation – MD of Pincher Creek

Division 6

Councillor Klaas VanderVeen

May 1	CPAA Conference
May 2	Lethbridge County Council Meeting
May 16	Lethbridge County Council Meeting
May 31	SAEWA Meeting

Division 7

Councillor Morris Zeinstra

May 1	CPAA Conference
May 2	Lethbridge County Council Meeting
May 16	Lethbridge County Council Meeting
May 17	Lethbridge County Special Council Meeting
May 24	Seed Cleaning Meeting