

COUNTY OF LETHBRIDGE
IN THE PROVINCE OF ALBERTA

BY-LAW NO. 1303

A BY-LAW OF THE COUNTY OF LETHBRIDGE
BEING A BY-LAW PURSUANT TO SECTION 633(1) OF
THE MUNICIPAL GOVERNMENT ACT, CHAPTER M.26.1

WHEREAS Richard F. Chollack wish to develop a Grouped Country Residential Subdivision on a portion of the S.W. quarter, Section 27, Township 9, Range 21, West of the Fourth Meridian;

AND WHEREAS an application to reclassify the above land for Country Residential has been submitted to County Council for consideration;

AND WHEREAS the Developer has submitted the "Chollack Area Structure Plan" which will provide a framework for subsequent subdivision and development of the area;

NOW THEREFORE BE IT RESOLVED that the Council of the County of Lethbridge does hereby adopt the "Chollack Area Structure Plan" attached as Appendix "A".

GIVEN first reading this 4th day of October, 2007.



Reeve


County Manager


GIVEN second reading this 6th day of December, 2007.




Reeve


County Manager

GIVEN third reading this 6th day of December, 2007.



Reeve


County Manager

**AREA STRUCTURE PLAN FOR SUBDIVISION
OF PORTION OF SW ¼ 27-9-21-4**

Submitted to
County of Lethbridge



Environmental
Agricultural
Structural
Civil
Municipal

PREPARED FOR:
R. F. Chollack
605 – 28 A Street South
Lethbridge, AB T1J 3T4

PREPARED BY:
Hasegawa Engineering
A Division of 993997 Alberta Ltd.
1220 – 31st Street North
Lethbridge, AB T1H 5J8



Environmental
Agricultural
Structural
Civil
Municipal

HASEGAWA ENGINEERING

Consulting Professional Engineers

A Division of 993997 Alberta Ltd.

1220 31st Street North, Lethbridge, AB T1H 5J8
Bus: 328-2686 Fax: 328-2728 E-mail: hasgm@telusplanet.net

August 16, 2007

Our File #: 07-034

R.F. Chollack
605 – 28 A Street South
Lethbridge, AB T1J 3T4

Re: Area Structure Plan for Subdivision of Portion of SW ¼ 27-9-21-4 (Chollack)

Dear Sir:

Attached please find the Area Structure Plan submitted for the proposed subdivision for the property referenced above.

We trust that the enclosed information meets your requirements. Please do not hesitate to contact our office if you have any questions.

Yours truly,


Mark Hasegawa, P.Eng.

HASEGAWA ENGINEERING
Consulting Professional Engineers
MAH/cms

Attachments

cc: Nick Paladino, County of Lethbridge
Steve Harty, ORRSC

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1.0 INTRODUCTION

This document outlines the Area Structure Plan for the proposed subdivision of SW ¼ 27-9-21-4 (Block 2 Lot 5 Plan 9812041) located in the county of Lethbridge No. 26. The 12.36-acre parcel under consideration currently includes a single family residence and native grassland (refer to Figure 1). A Land Use Zoning Change Application has been filed with the County of Lethbridge No. 26 to meet the by-law requirements for this Area Structure Plan. The proposed subdivision is surrounded by county land that is currently used for agricultural purposes.

The proposed land use is country residential with a 1 acre minimum lot size. This is intended to match the land use of the surrounding community.

The client is proposing to subdivide the property into 10 lots each being greater than 1 acre in area. The enclosed conceptual plan, details and architectural controls are designed to assure a quality subdivision.

2.0 PLANS AND DRAWINGS

In order to illustrate the location of the property, site drainage, and the proposed subdivision layout, five figures have been prepared. The figures are provided in Appendix A and are as follows:

1. Location
2. Contour map of subject property
3. Conceptual site plan of subdivision
4. Fire and Irrigation Pond
5. Existing east-west profiles
6. Existing north-south profiles

3.0 SERVICING

3.1 *Sanitary Sewer System*

Sanitary sewage will be handled individually on each lot with a private sewage disposal system. The soil characteristics, as detailed in the Soil Test Report (Appendix B) verifies the suitability of the soil for this type of a disposal system and supplies the base design criterion for the required septic fields.

3.1.1 Septic Systems

Four test holes were dug three feet deep and soil samples were taken for grain size analysis (refer to Figure 4). Samples were submitted to Sandberg Laboratories Ltd. for analysis. The results showed clay loam suitable for an operation rate of 0.22 g/ft²/day,

meeting the requirements specified on page 42 of the *Alberta Private Sewage System Hand Book*. The test holes were then drilled to eight feet below ground level and the water table was measured. Holes 3 and 4 near the pond had one inch of water in the bottom. This indicates the water table is at levels conforming to the Alberta private sewage standards.

3.2 Water System

The developer will provide a water main for water delivery to the property line of each lot within the development. This water system will be for potable water.

3.2.1 Potable Water

The source of water will be from South County Potable Water Co-op. On 43rd Street, the Co-Op line runs north. Paul Dejong, president of the Co-Op, indicates there is no problem hooking up a water system as the line has a capacity for 800 homes and only 400 are committed to date.

The developer will provide a water main for water delivery to the property line of each lot within the development. This water system will be for potable water and will be taken to each property line. Residents will use cisterns on their property to store water and provide pressure to homes.

3.2.2 Fire Protection & Landscape Water

The owner will assure fire protection is provided for the property. This water will be provided from a water lagoon located onsite. There is an existing lagoon on the property, which will be re-located as shown in Figure 3. The new lagoon will be equipped with a properly designed fire flow port that pulls from the bottom of the lagoon. The water lines will be installed below the frost line to ensure year round availability of water. This will also allow the water to be used for irrigation and to water the lots.

The existing lagoon will be down-sized to hold a 500 gpm 2-hr line flow. The lagoon will hold 60 000 gallons with a surface area of 35' x 35' x 10' deep. The lagoon will be properly fenced. Landscape water will add two feet to the depth of the pond.

3.3 Gas

ATCO will supply natural gas to the development. The existing line is nearby and has sufficient pressure for the subdivision. The developer will bring natural gas to each property line.

3.4 *Electrical Power*

Fortis will provide services to the proposed subdivision and underground services to each property line. An overhead power service is located on 43rd Street and the County road.

3.5 *Telephone*

Telus will provide services to the lots, but each individual owner must apply for the service when building.

4.0 ROADS

Access to all lots will be from a new road created within the development (refer to Figure 3). The road and 43rd Street access design will meet County of Lethbridge No. 26 design criteria and will have a 20 meter right of way. Minimal area disturbance and natural drainage will be emphasized. The road surface will be gravel with sides seeded to grass. The roadway will be adequate in width to accommodate local traffic. Each lot will have direct access, with culverts being the responsibility of each property owner. There will be no curb and gutter but ditches on each side of the road. The trees located on the north side of the existing road will be relocated.

5.0 SITE DRAINAGE

As can be seen in Figure 2, according to area topography information, the drainage on the site generally flows towards the northwest corner. Since the proposed land use is country residential, impact to the existing land will be kept to a minimum.

Site drainage will be designed so that runoff rates will not significantly increase from the property's pre-development state. In addition, runoff from developed areas will be designed to flow into the ditch on 43rd Street through a controlled outlet.

A more extensive drainage analysis will be provided to compare predevelopment conditions to post development conditions.

6.0 SOLID WASTE DISPOSAL

As part of the codes and covenants of the subdivision, regular trash disposal will be a requirement.

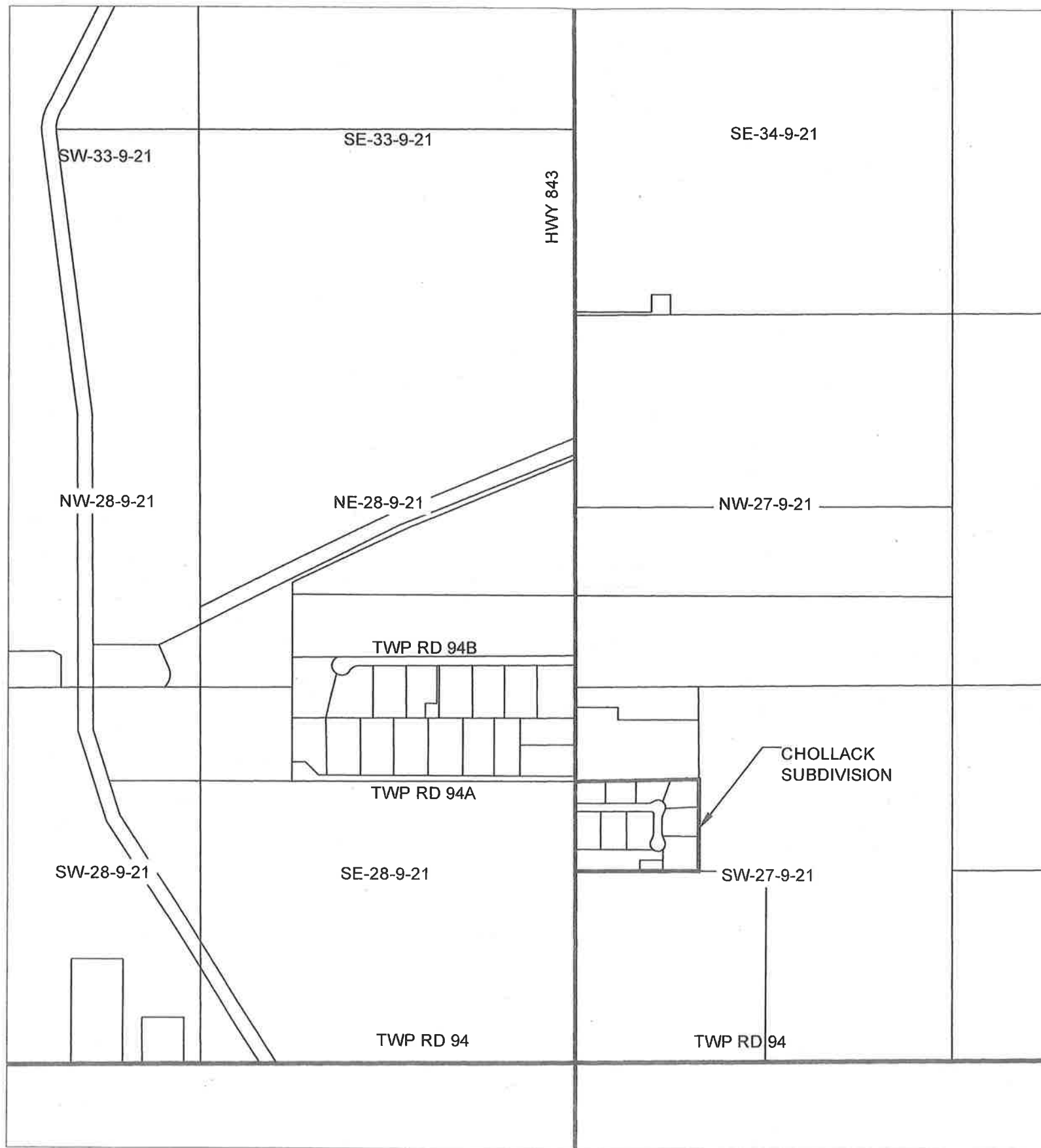
7.0 ARCHITECTURAL CONTROLS

The following controls are designed to ensure an aesthetically pleasing environment. The intent is to create the subdivision such that it enhances the natural beauty of its surroundings. The following criteria will apply:

1. Earth tones and/or neutral colors, as determined by the Development Officer, are to be used on all physical structures.
2. Wire fences, chain link excepted, are not permitted.
3. Fences in front yards of residences need to be limited to one metre in height or less.
4. Each residence is to be a minimum of 1200 square feet on the main floor and is to be constructed on site. Mobile homes are not permitted.
5. Each property owner is to be responsible for upkeep of utility right-of-way along property frontage.

APPENDIX A

FIGURES



Notes:

This is a copyright drawing and shall not be reproduced in any form without written permission of Engineer.

Contractor to check and verify all dimensions before construction, any errors and omissions reported to Engineer immediately.

Drawing not to be used for construction until so approved.

Do not scale Drawing.

All construction shall be in accordance with the latest code, may it be construction, mechanical, etc. code.

No	Revision	Date	By



LETHBRIDGE OFFICE
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CALGARY OFFICE
 201,2816-21 Street NE
 Calgary Alberta T2E 6Z2
 Ph: 250-5261

CLIENT
RICHARD CHOLLACK

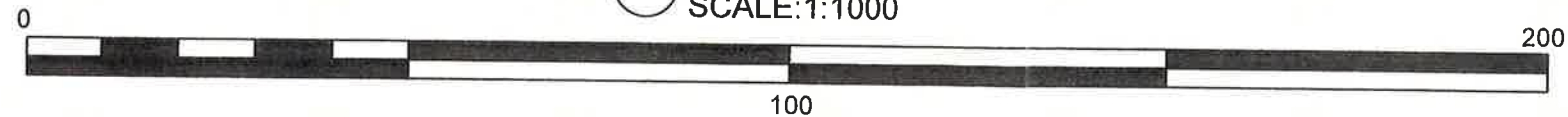
PROJECT TITLE
AREA STRUCTURE PLAN

DRAWING TITLE
LOCATION MAP
 SW 1/4-SEC 27-9-21-W4M

DESIGN HE	PROJECT NO. 07034
DRAWN DPB	SCALE NTS
CHECKED HE	SHEET NO. FIGURE 1
APPROVED HE	
DATE DRAWN JUNE 14,2007	



CONCEPTUAL SITE PLAN
SCALE: 1:1000



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1	ROAD WIDENED TO 20M	AUG 14, 07	DPB

HE Hasegawa Engineering

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CLIENT
RICHARD CHOLLACK

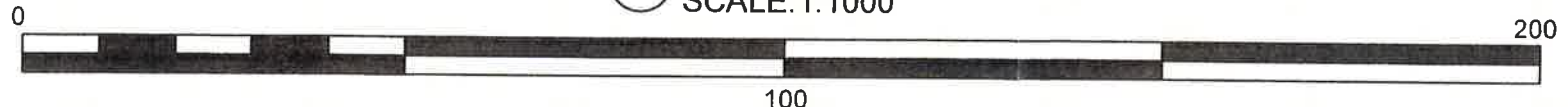
PROJECT TITLE
CHOLLACK SUBDIVISION

DRAWING TITLE
EXISTING SITE-CONTOURS

DESIGNER HE	PROJECT NO. 07034
DRAWN BY DPB	SCALE 1:1000
CHECKED BY HE	SHEET NO. FIGURE 2
DATE MAY22,07	



CONCEPTUAL SITE PLAN
SCALE: 1:1000



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1	ROAD WIDENED TO 20m	8/14/07	DPB
2			
Rev	Revision	Date	By

HE Hasegawa Engineering
LETHBRIDGE OFFICE
 1220 - 31 Street North
 Lethbridge Alberta T1H 5J8
 Ph: 328-2686
 Fax: 328-2728
 email: hasgm@telusplanet.net

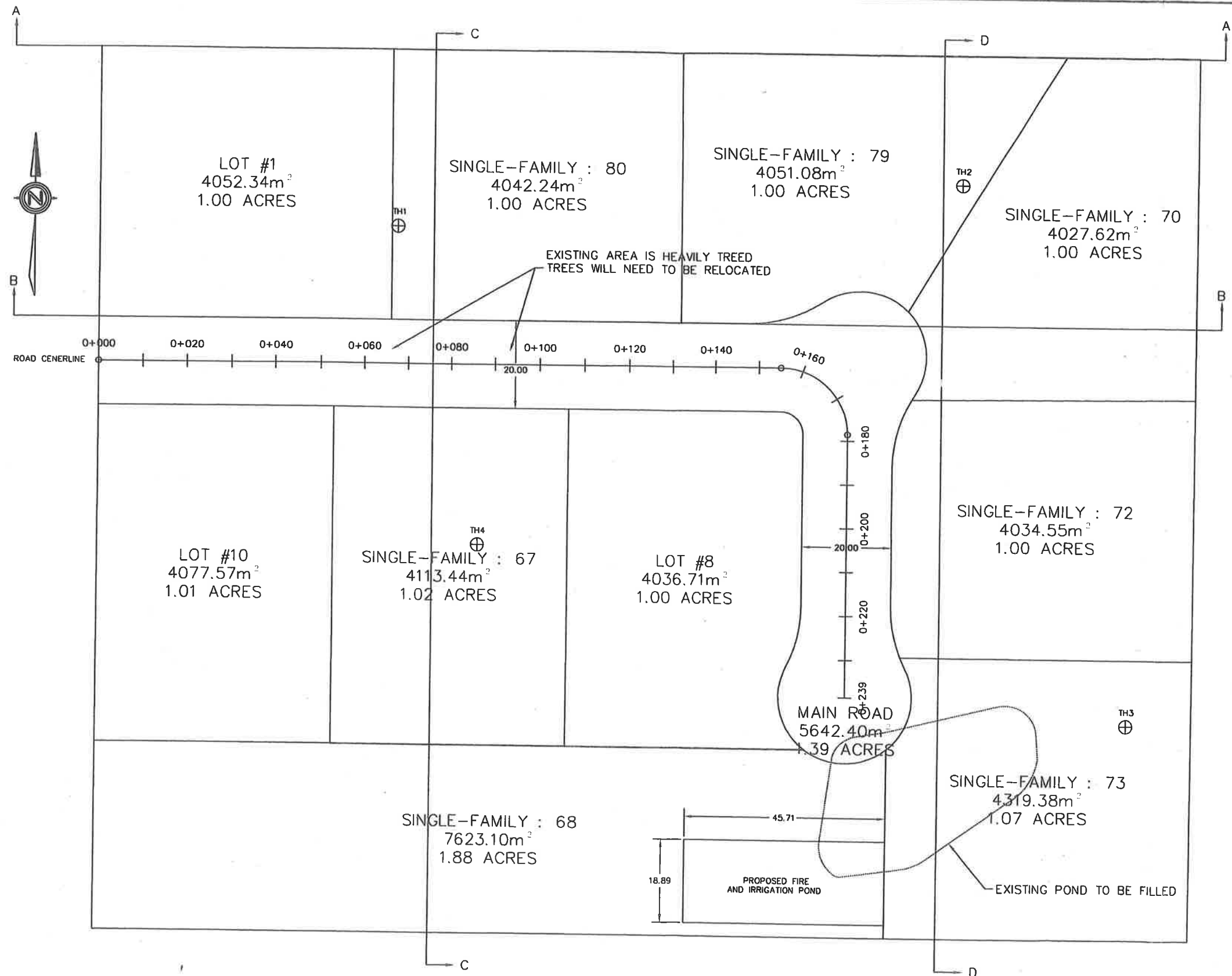
CALGARY OFFICE
 201,2816-21 Street NE
 Calgary Alberta T2E 6Z2
 Ph: 250-5261

DESIGNED BY
RICHARD CHOLLACK

PROJECT TITLE
CHOLLACK SUBDIVISION

DRAWING TITLE
CONCEPTUAL SITE-PLAN

DATE: HE	PROJECT NO: 07034
DRAWN: DPB	
CHECKED: HE	SCALE: 1:1000
APPROVED: HE	SHEET NO: FIGURE 3
DATE PLOTTED: MAY22,07	



CONCEPTUAL SITE PLAN
SCALE:1:1000



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1	ROAD WIDENED TO 30M	4-21-07	DPB

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201,2816-21 Street NE
Calgary Alberta T2E 6Z2
Ph: 250-5261

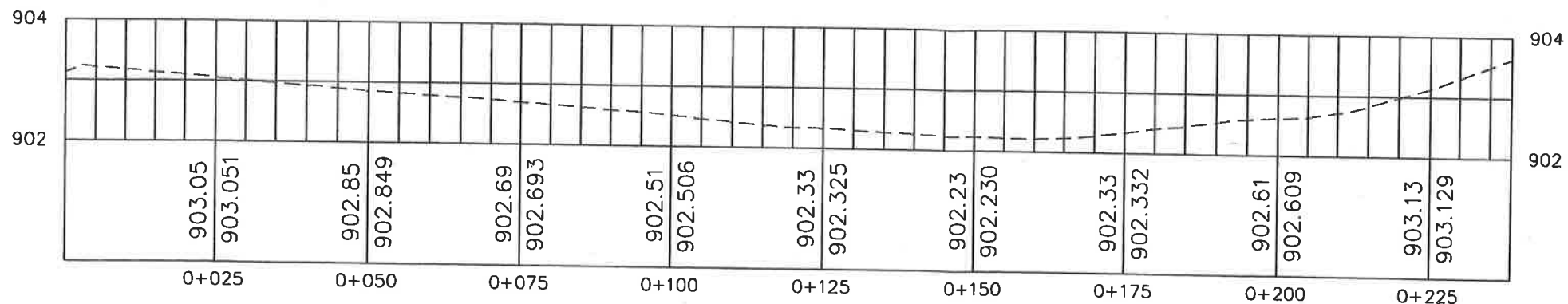
CLIENT
RICHARD CHOLLACK

PROJECT TITLE
CHOLLACK SUBDIVISION

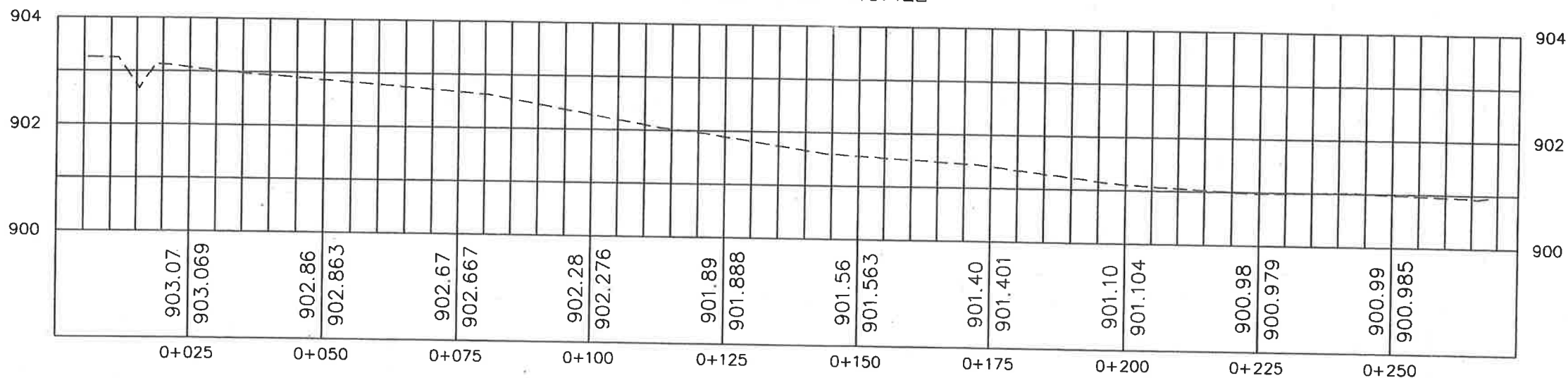
DRAWING TITLE
FIRE & IRRIGATION POND

DESIGN HE	PROJECT NO. 07034
APPROVED DPB	SCALE 1:1000
CHECKED HE	SHEET NO. FIGURE 4
DATE MAY22,07	

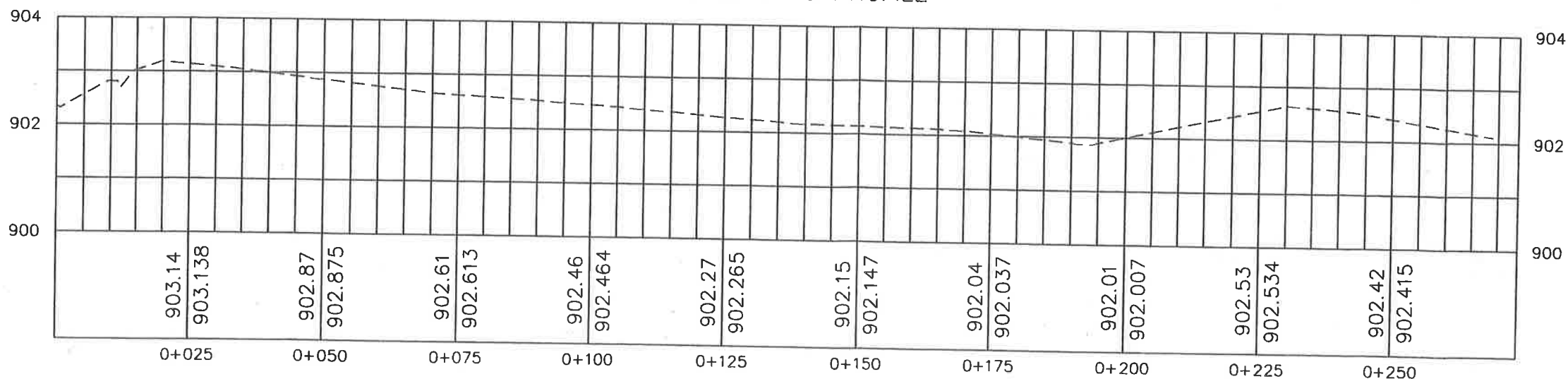
MAIN ROAD PROFILE



SECTION A-A PROFILE



SECTION B-B PROFILE



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No.	Revision	Date	By
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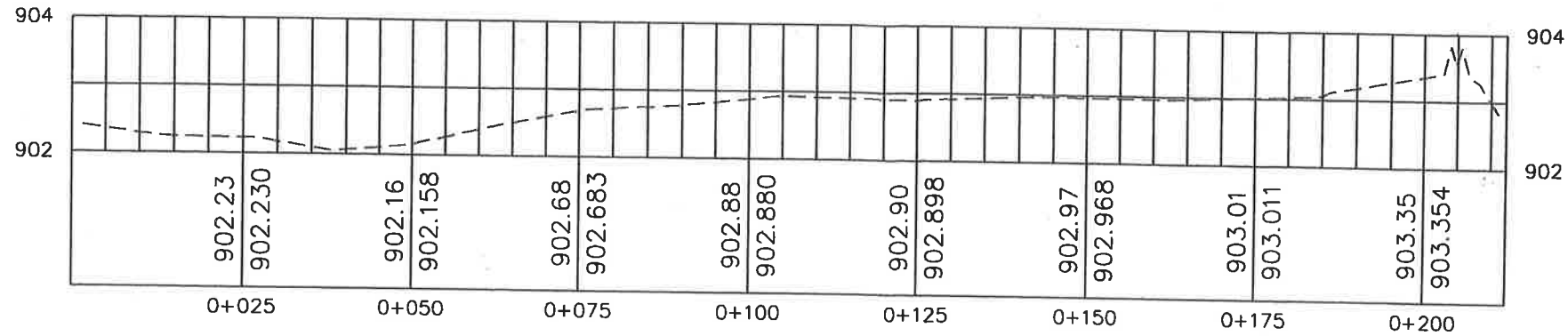
PROJECT TITLE
CHOLLACK SUBDIVISION

DRAWING TITLE
CROSS SECTIONS

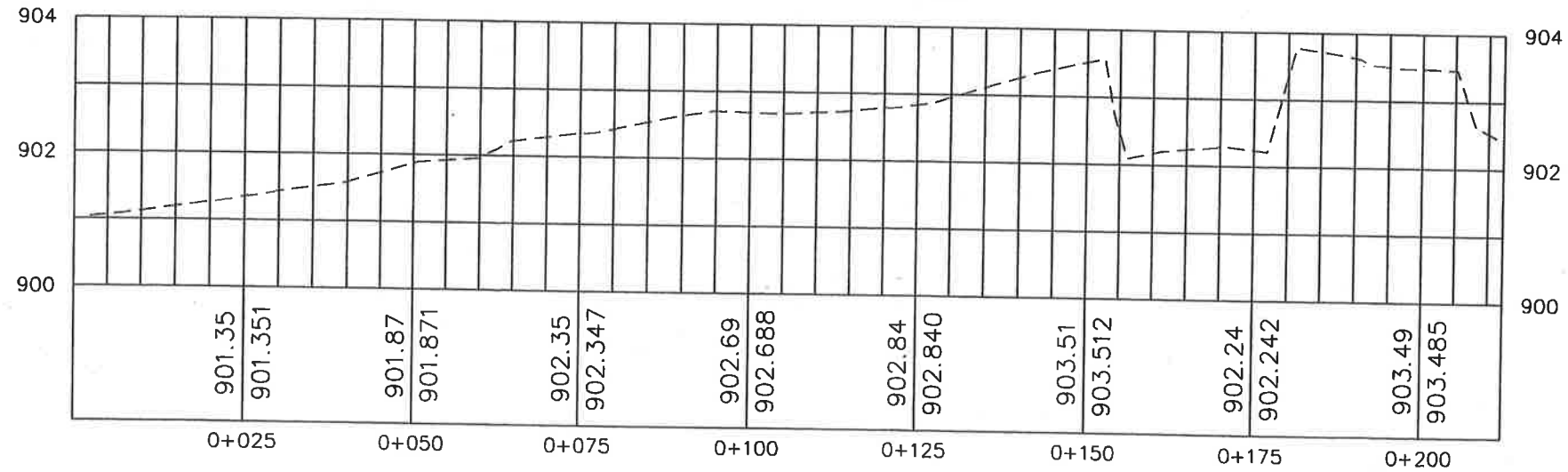
DESIGN HE	PROJECT NO. 07034
DRAWN DPB	SCALE 1:1000
CHECKED HE	CHECKED HE
DATE MAY 22, 07	FIGURE NO. FIGURE 5



SECTION C-C PROFILE



SECTION D-D PROFILE



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No	Revision	Date	By
1	ROAD WIDENED TO 20M	AUG 14, 07	DPB



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CALGARY OFFICE
 201,2816-21 Street NE
 Calgary Alberta T2E 6Z2
 Ph: 250-5261

CLIENT
RICHARD CHOLLACK

PROJECT TITLE
CHOLLACK SUBDIVISION

DRAWING TITLE
CROSS SECTIONS

DESIGNED HE	PROJECT NO 07034
DRAWN DPB	SCALE 1:1000
CHECKED HE	SHEET NO FIGURE 6
DATE MAY 22, 07	

APPENDIX B

SOIL ANALYTICAL RESULTS



SANDBERG LABORATORIES LTD.

3510 - 8th AVENUE NORTH
LETHBRIDGE, ALBERTA T1H 5C3
PHONE 328-1133
FAX 320-1033

Hasegawa Engineering

CHOLARU SUBDIV

Report 110758

Sample _____

Date May 9 / 07

phone _____ fax _____

TEST HOLE	Sample	Location	% Sand	% Clay	% Silt	Texture
1	2240	West 30/42	26.4	34.0	39.6	CL
	2241	West 8'	42.0	30.0	28.0	CL
2	2242	Middle 30/42	16.2	31.0	52.8	Si CL
	2243	Middle 8'	42.2	30.0	27.8	CL
3	2244	building south				
		30/42 3a	21.6	49.0	29.4	C
4	2245	building south				
		8' 3b	39.6	33.0	27.4	CL

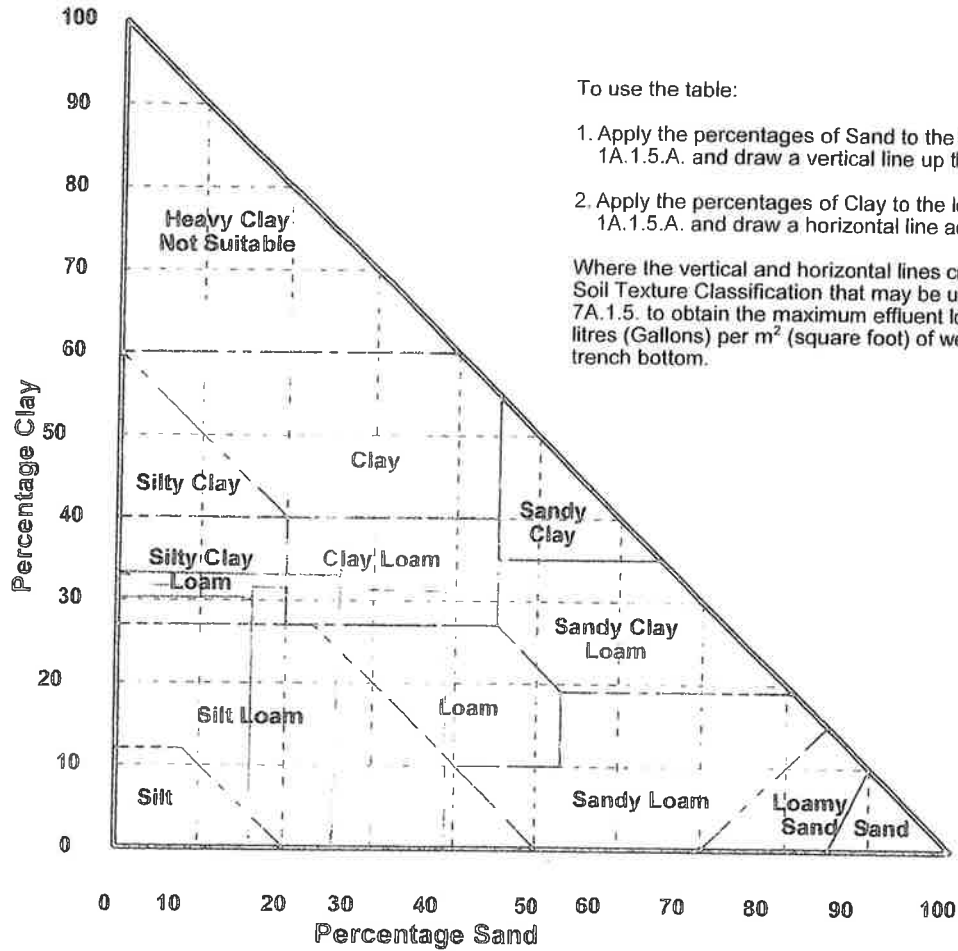
GRAIN SIZE WAS TAKEN AT 3' FT DEEP

THE WATER TABLE CHECK WAS AT 8'

HOLE #3 @ 3' WAS NOT SUITABLE BUT OK DEEPER FOR HOLE LOCATION SEE FIG

Fig. 7.A.1.5.A. Soil Texture Classification Triangle

Figure 7A.1.5.A Soil Texture Classification Triangle



To use the table:

1. Apply the percentages of Sand to the bottom of Table 1A.1.5.A. and draw a vertical line up through the table.
2. Apply the percentages of Clay to the left side of Table 1A.1.5.A. and draw a horizontal line across the table.

Where the vertical and horizontal lines cross indicates a Soil Texture Classification that may be used with Article 7A.1.5. to obtain the maximum effluent loading rate in litres (Gallons) per m² (square foot) of weeping lateral trench bottom.

Note: Plotting the percentage of sand and clay provides the remaining percentage of silt.

The results of a Grain or Particle Size analysis will provide the percentages of Sand, Silt and Clay in the Soil sample.

The above drawing is intended to provide general information that may be applied to one or more applications. Specific reference to this drawing may be found in:

Pg. 37, Article 7.1.4
Pg. 42, Article 7A.1.5

Pg. 121, Particle or Grain Size Analysis Test

Standard of Practice

Explanation

7A.1.5. When using the results of a soil texture classification to size a system, the disposal field weeping lateral trench bottom area shall be sized so that the effluent loading rate per day for soil classifications determined in Table 7A.1.5.A. does not exceed, in a soil classified as:

- (a) Clay, not suitable without further testing,
- (b) Silty Clay, not suitable without further testing,
- (c) Silty Clay Loam, not suitable without further testing,
- (d) Sandy Clay, not suitable without further testing,
- (e) Clay Loam, 10.78 L per square metre (0.22 gal per sq. ft.),
- (f) Silt, 12.25 L per square metre (0.25 gal per sq. ft.),
- (g) Sandy Clay Loam, 13.72 L per square metre (0.28 gal per sq. ft.),
- (h) Silt Loam, 13.72 L per square metre (0.28 gal per sq. ft.),
- (i) Loam, 17.15 L per square metre (0.35 gal per sq. ft.),
- (j) Sandy Loam, 22.05 L per square metre (0.45 gal per sq. ft.),
- (k) Loamy Sand, 30.87 L per square metre (0.63 gal per sq. ft.), and
- (l) Sand, not suitable without further testing.

Intent: Soils classed as not suitable without further testing for a disposal field in this table may have an infiltration rate that will accommodate a disposal field. Further testing such as a percolation test, soil structure, and determining the absence of expandable clays may indicate the soil can accommodate a disposal field.

See Pg. 37, Article 7.1.4

See Pg. 179, Fig. 7A.1.5.A, Soil Texture Classification Triangle in Appendix "B"

See Pg. 121, Particle or Grain Size Analysis Test in Appendix "B"

See Pg. 129, Sizing the Disposal Field Trench Bottom Area in Appendix "B"

See Pg. 149, Sizing the Infiltration Area in Appendix "B"

To use these loading rates, divide the volume of sewage per day by the given loading rate. (Gallons per day divided by the gallon per sq. ft. loading rate for the soil texture.)

Example of sizing using soil texture loading rates:

4 bedroom house, Silt loam soil.

Example: imperial measures

450 gals per day
loading rate for silt loam = .28 gals. per sq. ft.

$$450 \div 0.28 = 1607.14 \text{ sq. ft.}$$

1607.14 sq. ft. of trench bottom area is required for the four bedroom home on silt loam soil.

If 2 foot wide trenches are used 803.6 lineal ft. of disposal field trench is required.

Example: metric measures

2040 litres per day
loading rate for silt loam = 13.72 L per sq. m.

$$2040 \div 13.72 = 148.69 \text{ sq. meters}$$

148.69 sq. meters of trench bottom area is required for the four bedroom home on silt loam soil.

APPENDIX C

COPY OF LAND TITLE



Certificate of Title

South Alberta Land Registration District

S

LINC SHORT LEGAL
0027 553 768 9110555;2;4

TITLE NUMBER: 021 400 832
TRANSFER OF LAND
DATE: 14/11/2002

AT THE TIME OF THIS CERTIFICATION

RICHARD FRANKLIN CHOLLACK

AND

DOREEN MAE CHOLLACK

BOTH OF:

605 28TH STREET "A" SOUTH

LETHBRIDGE

ALBERTA T1J 3T4

AS JOINT TENANTS

ARE THE OWNERS OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 9110555

LOCK 2

LOT 4

CONTAINING 15.9 HECTARES (39.29 ACRES) MORE OR LESS

EXCEPTING THEREOUT:

PLAN SUBDIVISION	NUMBER	HECTARES	ACRES	MORE OR LESS
	9812041	10.943	27.04	

EXCEPTING THEREOUT ALL MINES AND MINERALS

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDERWRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
150CM		RESTRICTIVE COVENANT
1485KX	21/06/1971	IRRIGATION ORDER/NOTICE THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER IRRIGATION DISTRICT
831 214 789	24/11/1983	CAVEAT RE : EASEMENT CAVEATOR - THE BOARD OF DIRECTORS OF ST. MARY RIVER IRRIGATION DISTRICT. BOX 278, LETHBRIDGE ALBERTA AGENT - F J BREWIN
981 217 102	22/07/1998	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE COUNTY OF LETHBRIDGE NO. 26. C/O OLDMAN RIVER INTERMUNICIPAL SERVICE AGENCY B1, 905-4 AVE. SOUTH

CERTIFIED COPY OF
Certificate of Title

SHORT LEGAL 9110555;2;4
NAME RICHARD FRANKLIN CHOLLACK ET AL
NUMBER 021 400 832

ENCUMBRANCES, LIENS & INTERESTS

**REGISTRATION
NUMBER**

DATE (D/M/Y) PARTICULARS

LETHBRIDGE
ALBERTA T1J0P4

021 400 833 14/11/2002 MORTGAGE
MORTGAGEE - 1ST CHOICE SAVINGS AND CREDIT UNION
LTD..
BOX 1237
LETHBRIDGE
ALBERTA T1J4A4
ORIGINAL PRINCIPAL AMOUNT: \$150,000

I CERTIFY THE ABOVE TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN. IN
WITNESS WHEREOF I HAVE SUBSCRIBED MY NAME AND AFFIXED MY OFFICIAL SEAL THIS 14 DAY OF NOVEMBER ,2002

..... A.D. REGISTRAR
SOUTH ALBERTA LAND REGISTRATION DISTRICT



SUPPLEMENTARY INFORMATION

VALUE: \$245,000
CONSIDERATION: \$245,000
MUNICIPALITY: COUNTY OF LETHBRIDGE
REFERENCE NUMBER:
981 217 100 +2
ATS REFERENCE:
4;21;9;27;SW
TOTAL INSTRUMENTS: 005